



CITY OF
MARICOPA
PROUD HISTORY • PROSPEROUS FUTURE



SINGLE FAMILY
RESIDENTIAL
DESIGN
GUIDELINES



DRAFT

7/29/2014

Single Family Residential Design Guidelines

~~Strikethrough~~ - deletion

Red Font – addition

A. Introduction

1. In accordance to City of Maricopa General Plan, goals and objectives, this document is intended to provide direction to homebuilder's developers, contractors, designers, city staff and city decision makers. Design guidelines are adopted policies intended to provide the basis for design review and approval and are subject to interpretation by staff and the Planning Commission. When a valid demonstration can be made for deviating from a design guideline in order to achieve a superior overall design, such a request will be given consideration.
2. Diversity of quality residential architectural design is encouraged throughout the City; with the design of projects reflecting a general continuity and harmony consistent with the character of the community while at the same time providing new, creative, forward-looking and dynamic approaches to design.
3. The exhibits contained within this document illustrate a variety of architectural detailing, plans and elevations in order to convey a diversity of product and universal design principles and emphasize Non-Garage dominant architecture. The Single Family Residential Design Guidelines are adopted and amended by the City Council.
4. The word "should" is intended to express the City of Maricopa's desire and expectation, while the words "encouraged" and "discouraged" are meant to express a more or less desirable solution. The words "shall" are meant as requirements.

B. Applicability

1. These guidelines shall apply to all new single-family standard home plans, and additions to existing standard home plans shall be reviewed for compliance with the City of Maricopa Single Family Residential Design Guidelines prior to issuance of a building permit.

C. General Design Guideline Principles

1. ~~Two Story Dwellings.~~ **Building Form**
 - a. Two-story houses shall ~~have a single story element closest to the front of the house and/or next to the street. If through architectural diversity a housing series creates neighborhood variety, the requirement for the first story element may be waived by the Zoning Administrator. Such architectural diversity may include varying front setbacks due to locating the garage to the rear of the lot, adding useable courtyard area,~~ **utilize offset massing (vertical articulation) to achieve distinction between stories and building mass.** ~~and/or using building~~

~~placement to~~ Design of ~~create~~ creative private outdoor spaces is highly encouraged to achieve this objective.

- b. Corner lots may have a mix of single-story ~~and one-~~ and two-story homes provided the ~~two-second-~~story portions of the homes do not encompass more than 75 percent of the building footprint, and the ~~two second-~~story portion of the dwelling ~~generally is oriented away from the street~~ has a distinctive building mass (vertical articulation).
- c. Two-story dwellings located on corner lots shall include windows on the facade facing the side street. No second-story street-facing wall should run in a continuous plane of more than 20 feet without a window or a projection, offset, or recess of the building wall at least one foot in depth.

Do This



Not This



Figure 202.03.C: Two-Story Dwelling on Corner

- d. High quality “stylized” or “theme” architecture that is characteristic of an agricultural and western character or innovative architectural trend is encouraged or designed per an approved design criteria for a Planned Area or Master Planned Development.
- e. Orientation of homes should consider solar access, as well as climatic and other environmental conditions.
- f. Monotonous look-a-like structures (sameness) are discouraged. Effort should be made to create visually interesting homes by varying building form, volume, massing, heights, roof styles and color and materials.

Do This



Not This



- g. **Front Yard Staggered Setbacks.** On lots with widths less than or equal to 69 feet, the subdivision plan shall vary the relationship of dwellings to the street by staggering front setbacks a minimum of five feet for 25 percent of block face or by providing curvilinear or angled street. Lots greater than 69 feet in width are exempt from this requirement.
- h. ~~**Reduced Street Side Setback.** Along local streets only, the street side setback may be reduced to five feet from the lot line if a landscaped tract or easement of 40 feet is provided.~~ ***Staff recommends that this requirement is taken out of the guidelines and added to Zoning Code Section 202.03.*

2. **Garages and Driveways.**

- a. **On lots 55 or larger,** garages shall be designed and located to reduce the visual impact of garage doors along street frontages. A mix of garage orientations (i.e. significantly recessed front facing, side-entry, tandem) shall be provided **to deemphasize garage dominance.**
- b. On lots with forward-facing garage plans, the garage portion of the dwelling shall not extend forward of the livable portion(s) of the dwelling by more than six feet. If a front-facing garage projects out from the porch or livable areas of the dwelling, the applicant shall provide portals, low courtyard walls with pilasters, or other de-emphasizing techniques for approval by the City, that extend forward of the garage face.
- c. ~~All plans should incorporate coach lights on the street side elevation.~~ **A minimum of two (2) coach lights should be placed at the front face of the garage or other appropriate location for security.**
- d. Dwellings with three-car garages shall be designed so that the third car garage is architecturally separated and offset a minimum of two feet farther from the other garage door. The intent of this standard is to soften the garage dominance and provide for horizontal articulation.



- e. ~~Driveways for three or more cars serving forward-facing garages shall incorporate alternative paving design elements including but not limited to stamped concrete, concrete engraving, concrete stains, concrete pavers, and colored concrete to soften the appearance of large impervious surfaces~~

- f. ~~A minimum distance of 18 feet between the garage door and the sidewalk shall be provided to accommodate adequate off-street parking. ***Staff recommends that this requirement is taken out of the guidelines and added to Zoning Code Section 202.03***~~
- g. Utilizing “Carriage-style” and other non-conventional sectional garage door style is encouraged ~~will be approved~~ to provide additional diversity and to better enhance the architectural themes.
- h. Side-loaded garages shall provide windows or other architectural details that mimic the features of the living portion of the dwelling on the side of the garage facing the street.



Example of a home with a side-entry garage that appears livable from street view.

- i. No more than 60 percent of dwellings on a block face shall have a garage forward of livable or covered porch.
- j. Garage doors (not including side returns) attached to a primary residence and facing the front of the lot shall not exceed 40 percent of the aggregate width of those elevations of the building that face the front of the lot.

Proposed Additional Language:

- (1) Not applicable to lots less than or equal to 55 feet wide, however shall meet design guidelines for forward-facing garage plans, Section C, subsection 2b.
- (2) Incorporate this guideline as a standard on at least two (2) floor plans. Not applicable to lots less than or equal to 55 feet wide, however shall meet design guidelines for forward-facing garage plans, Section C, subsection 2b.

Do This



Not This



- k. ~~Detached garages shall be located in the rear half of the lot. The Zoning Administrator may approve a detached garage in the front half of the lot subject to the front setback requirements of the District where the size, shape, location, surroundings, or existing structures make it infeasible to locate the garage in the rear half of the lot.~~ ***Staff recommends that this requirement is taken out of the guidelines and added to Zoning Code Section 202.03***

3. **Covered Patios and Porches**

- a. Covered patios and porches shall be incorporated into home-residential architecture. Patio and porches columns and roofs must be constructed of same materials as the rest of the home, including the type of roof tile and roof slope or designed in a manner that compliments with the existing architecture of the home. Rear outdoor shaded living areas are encouraged. In the event a rear patio cover is not provided, the homebuilder should position the home on the lot in a manner that could allow a minimum eight-foot deep patio cover for a future addition.

- b. 30% of the building frontage shall incorporate a usable porch (or courtyard) with a minimum width of eight feet and a minimum depth of four feet.

Proposed Additional Language

(1) Incorporate this guideline as a standard on at least one (1) elevation per floor plan.

- c. ~~Minimum 35 percent of the dwellings on a block face shall have a useable front porch, courtyard or a combination of front/streetside/interior side yard outdoor living space, which may include lot lines abutting open space tracts of land.~~
- d. The design of front porches and building additions must match the scale and architectural detail of the dwelling.
- e. Courtyard walls shall not exceed three and a half feet in height in the front or street side yard adjacent to the driveways to create useable gathering areas.

Do This



Not This

INSERT IMAGE

- f. A useable, covered outdoor patio should be provided on the rear side of each home. Covered patio dimensions should be a minimum of 65 square feet, with a minimum depth 10 feet.

Proposed Additional Language

- (1) Incorporate this guideline as a standard on at least two (2) floor plans.

Do This



Not This



-----**Subsection C4a-e was moved to subsection C11**-----

4. **Residential Diversity.**

- a. ~~**Variation in Building Elevations, Roof Plans and Floor Plans.** New residential development shall provide a variety of building and roof forms and ridgelines. Elevations shall be structurally different, with different roof types facing the street. The specific design submittal requirements vary by subdivision size as follows:~~
- b. ~~40-49 lots.~~ The minimum requirements are two different roof styles, with two different roof materials and three roof colors, two standard floor plans, and three different elevations per floor plan.
- c. ~~50-99 lots.~~ The minimum requirements are two different roof styles with two different roof materials and four roof colors, three standard floor plans, and three elevations per floor plan.
- d. ~~100-199 lots.~~ The minimum requirements are two different roof styles, with different roof materials and four roof colors, four standard floor plans, and a minimum of three elevations per floor plan.
- e. ~~200 or more lots.~~ The minimum requirements are two different roof styles, with two different roof materials and five roof colors, five standard floor plans, and a minimum of three elevations per floor plan.

-----**Subsection C4a-e was moved to subsection C11**-----

- f. ~~**Adjacent Lots Varying Elevations.** The same front elevation cannot be used on adjoining dwellings or dwellings that face each other or across the street; no more than three single story plans shall be built in a row, and no more than three two-story plans shall be built in a row. No more than 25 percent of lots backing onto an arterial road should be built with two-story homes. If proposed, the two-story dwellings should provide additional articulation and staggered setbacks to create visual interest from the roadway. Two-story homes backing on State Routes should be avoided. ****Section C, subsection 4f was moved to Subsection 5****~~
- g. ~~**Variation in Building Materials.** As a standard feature, stone, brick, or accent facade material shall be provided on at least one elevation for each floor plan. ****Section C, subsection 4g was moved to Section 7****~~
- h. ~~**Visibility of Front Doors.** On all lots 55 feet or less in width, the front doors shall be visible from the front or street side lot line. ****Section C, subsection 4h was moved to Section 6****~~
- i. ~~**Architectural Features.** All home model designs shall provide a similar level of architectural detailing on all sides. ****Section C, subsection 4i was moved to Section C, Subsection 9****~~

- j. ~~Minimum 35 percent of the dwellings on a block face shall have a useable front porch, courtyard or a combination of front/streetside/interior side yard outdoor living space, which may include lot lines abutting open space tracts of land.~~ ****Section C, subsection 4j was moved to Section C, Subsection 3****
- k. ~~The design of front porches and building additions must match the scale and architectural detail of the dwelling.~~ ****Section C, subsection 4k was moved to Section C, Subsection 3****
- l. ~~Courtyard walls shall not exceed three and a half feet in height in the front or street side yard adjacent to the driveways to create useable gathering areas.~~ ****Section C, subsection 4l was moved to Section C, Subsection 9****
- m. ~~Deep-set, pop-out, or distinct windows and doors along with other architectural projections and recesses shall be used to provide individuality of units.~~ ****Section C, subsection 4m was moved to Section C, Subsection 6****
- n. ~~Front porch covers may encroach up to 25 percent of the front yard or street-side setback line.~~ ****Section C, subsection 4n was moved to Section C, Subsection 9****

5. **Location**

- a. ~~*Adjacent Lots Varying Elevations:*~~ No more than 25 percent of lots backing onto an arterial **and collector** roads should be built with two-story homes. If proposed, the two-story dwellings should provide additional articulation and staggered setbacks to create visual interest from the roadway.
- b. Two-story homes backing on State Routes should be avoided.
- c. The same front elevation cannot be used on adjoining dwellings or dwellings that face each other or across the street;
- d. ~~No more than three single~~ **Two-story consecutive** plans shall be built in a row **are discouraged**, ~~and no more than three two-story plans shall be built in a row~~ **Not applicable to parcels that have less than or equal to 10% of the lots remaining within the parcel.**

6. Windows and Doors.

- a. Deep-set, pop-out, or distinct **architectural treatment around** windows and doors along with other architectural projections and recesses shall be **required on all four sides of the building** ~~to provide individuality of units.~~



No architectural treatment around windows.



Architectural treatment around windows provided.

- b. ~~**Visibility of Front Doors:**~~ On all lots 55 feet or less in width, the front doors shall be visible from the front or street side lot line.
- c. Windows and doors should be aligned and sized to bring order to the building façade.
- d. Windows and doors should be sufficiently recessed to create façade patterns that add variety interest to the design of the home.
- e. Homes with side entrances are strongly discouraged and will be considered on a case by case basis.
- f. The front elevation shall feature a pedestrian scaled entry.

7. **Colors and Materials**

- a. ~~**Variation in Building Materials.**~~ As a standard feature, stone, brick, or accent facade material shall be provided on at least one elevation for each floor plan.
- b. Architectural details related to color, type and application of materials and building form should be coordinated for all elevations of a home to achieve harmony and continuity of design.



- c. A change in building material on a structure should reflect a change in the plane of the structure.
- d. Materials applied to any building elevation should wrap around onto adjoining walls of the structure to a visually appropriate terminating point so as to provide design continuity and a finished appearance.
- e. A variation of colors in roof and façade treatment in residential development is encouraged, provided the color variations maintain harmony and consistency with the overall continuity.
- f. The use of bright or intense primary colors should be moderated, and permitted only in areas where their use would not overwhelm surrounding development or create and uncoordinated or cluttered looking development.
- g. Color should be used to accent entry-ways and special architectural features of a home.

8. **Roof Architecture**

- a. ~~**Variation in Building Elevations, Roof Plans and Floor Plans.**~~ New residential development shall provide a variety of building and roof forms and

ridgelines. Elevations shall be structurally different, with different roof types facing the street.

- b. When appropriate to the style of a home, a variety of simple roof forms, including gable, shed and hip, used alone or in combination, are encouraged for all new development in order to add visual interest and diversity to the City's "roof horizon" and to avoid the repetitive roof styles.



- c. Chimneys, roof flashings, rain gutters, downspouts and other roof protrusions should be painted and finished to match the color of the roof surfaces, unless being used expressly as a trim or accent element.
- d. Solar panels on rooftops are encouraged to be consistent with the roof pitch and to appear as an integral part of overall roof design.
- e. Distinct roofing materials shall be provided for each standard plan and elevation.
- f. Roof mounted HVAC and evaporative cooler equipment shall be prohibited. Such equipment shall be properly screened from public view. Vents and flues should be located to occur on the least prominent side of the ridgeline whenever possible and shall be painted to match the color of the roof.

9. ***Architectural Features.***

- a. All home model designs shall provide a similar level of architectural detailing on all sides:
- b. The design of front porches and building additions must match the scale and architectural detail of the dwelling.
- c. Courtyard walls shall not exceed three and a half feet in height in the front or street side yard adjacent to the driveways to create useable gathering areas.

- d. ~~Front porch covers may encroach up to 25 percent of the front yard or street-side setback line. **Staff recommends that this requirement is moved to the Zoning Code Article 202 Residential Districts**~~

10. **Crime Prevention through Environmental Design (CPTED)**

- a. Front building entrances should be accentuated by architectural elements, lighting and/or landscaping. All front doors that open to the outside should be well lit and visible from the street, parking area or neighboring units.
- b. Buildings should be sited so that the windows and doors of one unit are visible from another. All four facades should have windows.

11. **Residential Diversity:**

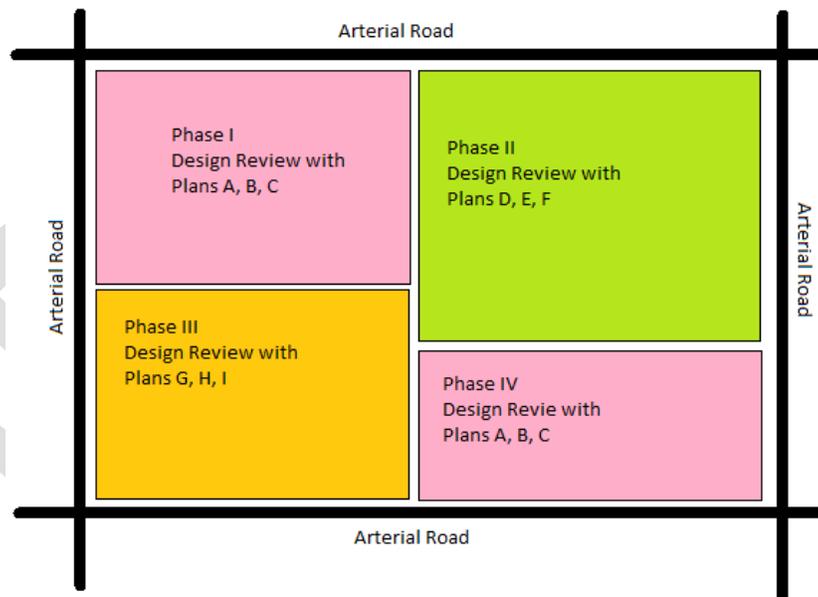
- a. ~~***Variation in Building Elevations, Roof Plans and Floor Plans.*** New residential development shall provide a variety of building and roof forms and ridgelines. Elevations shall be structurally different, with different roof types facing the street. The specific design submittal requirements vary by subdivision size as follows:~~
- b. ~~*10-19 lots.* The minimum requirements are two different roof styles, with two different roof materials and three roof colors, two standard floor plans, and three different elevations per floor plan.~~
- c. ~~*50-99 lots.* The minimum requirements are two different roof styles with two different roof materials and four roof colors, three standard floor plans, and three elevations per floor plan.~~
- d. ~~*100-199 lots.* The minimum requirements are two different roof styles, with different roof materials and four roof colors, four standard floor plans, and a minimum of three elevations per floor plan.~~
- e. ~~*200 or more lots.* The minimum requirements are two different roof styles, with two different roof materials and five roof colors, five standard floor plans, and a minimum of three elevations per floor plan.~~

Standard Plan Submittal Requirements.

Home Builders shall be required to submit the following as part of an Administrative Design Review application for subdivisions of **10 or more lots**. The following list, establish the minimum requirements for all standard plans submitted to the City of Maricopa. Fees shall be determined by the adopted fee schedule.

- a. All design review applications shall include a minimum of three (3) standard floor plans. Standard plans shall include two (2) roof materials, three (3) roof colors, two (2) roof styles, three (3) color scheme combinations, and three (3) different elevations per floor plan.
- b. Subdivisions of more than 200 lots shall be developed in phases.
- c. Each phase of development within any single subdivision shall require its own design review application. Applications for multiple phases can be combined when submitted concurrently to avoid extra fees with the Zoning Administrator's approval.
- d. Contiguous phases shall not include the same standard floor plans. Phases with adequate geographic separation may reuse previously submitted standard floor plans. Adequate geographic separation shall be determined by the Zoning Administrator.

Example of the Phased Development with a variety of Standard Floor Plans



Staff Memo

The proposed amendments are intended to organize the document into several sections as it relates to architectural design. Additional language has been added to further emphasize the need of diverse architecture and discouraging certain elements that creates a garage dominant architecture.

1. General Comment: In comparison to other municipal residential design guidelines staff recommends that the overall outline of the structure is revised to the following:
 - A. Introduction
 - B. Applicability
 - C. General Design Guideline Principles
 1. Building Form Garage and Driveways
 2. Covered Patios and Porches
 3. Location
 4. Windows and Doors
 5. Colors and Materials
 6. Roof Architecture
 7. Crime Prevention through Environmental Design
 - D. Standard Plan Submittal Requirements
2. General Comment: Staff recommends adding example images throughout the document to reinforce certain guidelines.
3. Section C, General Design Guideline Principles (pg. 2): Staff recommends additional statements within the Building Form section to further expand the need for diverse housing elevations.
4. Section C, General Design Guideline Principles (pg. 2): Subsection 1a, staff modified the existing language to allow flexibility in designing homes.
5. Section C, General Design Guideline Principles (pg. 3): Subsection 1b, staff added language to reinforce the statement.
6. Section C, General Design Guideline Principles (pg. 4): Subsection 1d-f, staff added additional statements.
7. Section C, General Design Guideline Principles (pg. 5): Subsection 1h is recommended to be removed from the design guidelines and added to Zoning Code Table 202.03 and section 202.03.
8. Section C, General Design Guideline Principles (pg. 5): Subsection 2a, staff added language to allow for flexibility.
9. Section C, General Design Guideline Principles (pg. 5): Subsection 2c, staff revise the statement.
10. Section C, General Design Guideline Principles (pg. 6): Subsection 2f, staff recommends the statement to be removed and added to Zoning Code section 202.03.
11. Section C, General Design Guideline Principles: Subsection 2g, staff modified the existing language.

12. Section C, General Design Guideline Principles (pg. 6): Subsection 2j, staff recommends restricting the maximum width of a garage in comparison to the overall width of the house to reduce the impact of garage dominant architecture. City by city comparison shows that this requirement is in line with other municipalities (see Exhibit A). Additional language is proposed to allow for flexibility.

City Comparison – Garage Width Restriction

Buckeye	Casa Grande	Chandler	Mesa	Phoenix	Queen Creek	Surprise
10,000 SF lots and greater - 30% 6,000 – 10,000 – 40% Less than 6,000 – 50%	No more than 50% of the house width	No more than 1/3 (33.33%) of the house	No more than 50% of the house width	Lots 59 feet in width, no more than 50% of the house width	No more than 40% of the house width	No more than 45% of the house width

No regulation found within Gilbert, Goodyear and Peoria

13. Section C, General Design Guideline Principles (pg. 7): Subsection 2K, staff recommends the statement to be removed and added to Zoning Code section 202.03.

14. Section C, General Design Guideline Principles (pg. 7): Subsection 3a, Standard usable patio is recommended for floor plans. Below is a city by city comparison (see Exhibit B for actual language).

15. Section C, General Design Guideline Principles (pg. 8): Subsection 3b, Standard usable front porch is recommended for floor plans. Below is a city by city comparison (see Exhibit B for actual language). Additional language is proposed to allow for flexibility.

16. City Comparison – Front Porches

Casa Grande	Chandler	Goodyear	Queen Creek	Mesa	Surprise
Semi-Required	Required	Recommended	Required	Required	Required for one (1) floor plan per submittal

17. ***No regulation found within Phoenix, Buckeye, and Peoria***

18. Section C, General Design Guideline Principles (pg. 8): Subsection 3c, staff recommends deleting the statement.

19. Section C, General Design Guideline Principles (pg. 9): Subsection 3f, staff recommends of requiring rear yard covered patio with minimum size. Additional language is proposed to allow for flexibility.

City Comparison – Covered Patio

Casa Grande	Chandler	Goodyear	Queen Creek	Surprise
Required	Required	Required	Required	Required

No regulation found within Phoenix, Buckeye, Mesa and Peoria

20. Section C, General Design Guideline Principles (pg. 10): Subsection 4a-e, staff relocated a portion of this section subsection 8 Roof Architecture.
21. Section C, General Design Guideline Principles (pg. 10): Subsection 4f, staff relocated this section to subsection 5 Location.
22. Section C, General Design Guideline Principles (pg. 10): Subsection 4g, staff relocated this section to subsection 7 Colors and Materials.
23. Section C, General Design Guideline Principles (pg. 10): Subsection 4h, staff relocated this section to subsection 6 Windows and Doors.
24. Section C, General Design Guideline Principles (pg. 10): Subsection 4i, staff relocated this section to subsection 9 Architectural Features.
25. Section C, General Design Guideline Principles (pg. 11): Subsection 4j, staff relocated this section to subsection 3 Covered Patios and Porches.
26. Section C, General Design Guideline Principles (pg. 11): Subsection 4k, staff relocated this section to subsection 3 Covered Patios and Porches.
27. Section C, General Design Guideline Principles (pg. 11): Subsection 4l, staff relocated this section to subsection 9 Architectural Features.
28. Section C, General Design Guideline Principles (pg. 11): Subsection 4m, staff relocated this section to subsection 6 Windows and Doors.
29. Section C, General Design Guideline Principles (pg. 11): Subsection 4n, staff relocated this section to subsection 9 Architectural Features.
30. Section C, General Design Guideline Principles (pg. 11): Subsection 5a, staff recommends minor deletion and additions to the statement.
31. Section C, General Design Guideline Principles (pg. 11): Subsection 5d, staff recommends minor deletion and additions to the statement to allow for flexibility.
32. Section C, General Design Guideline Principles (pg. 11): Subsection 6a, staff revise the statement to enhance the intent.
33. Section C, General Design Guideline Principles (pg. 12): Subsection 6b, staff recommends minor deletion to the statement.
34. Section C, General Design Guideline Principles (pg. 12): Subsection 6c-f, staff added additional statements to further enhance design elements for the section.
35. Section C, General Design Guideline Principles (pg. 13): Subsection 7a, staff revise the statement to enhance the intent.
36. Section C, General Design Guideline Principles (pg. 13): Subsection 8, staff added the following

section, Roof Architecture.

37. Section C, General Design Guideline Principles (pg. 13): Subsection 8a, staff revise the statement to enhance the intent.
38. Section C, General Design Guideline Principles (pg. 14): Subsection 8b, staff added additional statement to the section.
39. Section C, General Design Guideline Principles (pg. 14): Subsection 8c-f, staff added additional statements to the section.
40. Section C, General Design Guideline Principles (pg. 15): Subsection 9e, staff recommends the statement to be removed and added to Zoning Code section 202.03.
41. Section C, General Design Guideline Principles (pg. 15): Subsection 10, staff added the proposed section with subsection language to address crime prevention through environmental design.
42. Section C, General Design Guideline Principles (pg. 15-16): Subsection 11, staff revised the title and added the proposed language to simplify the process.

Exhibit A – Garage width restrictions from other municipalities

Exhibit B – Outdoor Patio language from other municipalities

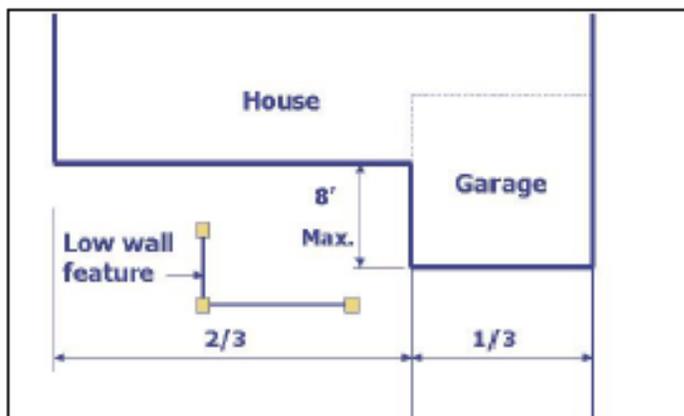
Exhibit C – Front Porch language from other municipalities

Exhibit D – List of Recently Approved Covered Patios

City of Chandler

The required architectural diversity elements are as follows:

1. Provide four-sided architecture on all portions of the building visible from the arterial streets, unless precluded by a specific architectural style.
2. De-emphasize garage fronts as the most prominent architectural feature of the dwelling front, e.g., incorporate side access garages, "in-line" garages, L-shape floor plans, etc. Garage forward facing plans shall encompass a maximum one-third ($1/3$) of the street front elevation or not extend out from the main body of the house by more than eight (8) feet or include low courtyard walls that extend out from the garage face or other de-emphasizing techniques approved by the City. Structures such as casitas and side-loaded garages may extend further from the main body of the house at a reduced building setback.



City of Mesa

feet behind the primary wall facing the street, and never less than the required garage setback.

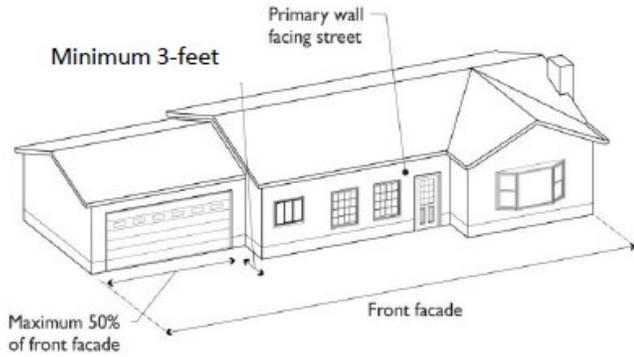


FIGURE 11-5-3.E.1: GARAGE FRONTAGE AND LOCATION

Classification

Definition of Garage Dominate Architecture	7
Requirements for Non-Garage Dominate Architecture	7
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DEFINITION OF GARAGE DOMINATE ARCHITECTURE

What compositions of façades and architectural elements define Garage Dominant Architecture? Simply stated; garage dominance exists when any portion of the garage space projects into the front yard, including side-entry garages, beyond the livable space of the home and/or, when garage doors comprise a large percentage of linear frontage of the front elevation.

REQUIREMENTS FOR NON-GARAGE DOMINATE ARCHITECTURE

In order to achieve a non-garage dominant architecture, the following standards must be met: (attached, zero lot-line and multi-family units will be evaluated on a per submittal basis)

- 1. At a minimum, the garage space should be flush* with or recessed behind the plane of the forward most or street side living space façade of the home and, garage doors must not comprise more than 45% of the total linear frontage of the front elevation of the home; or,**
- 2. Garage space may project beyond the front plane of the forward most or street side living space façade only if a front porch (standard for all elevations of the plan) is at minimum, flush with the forward most plane of the garage and, garage doors must not comprise more than 45% of the total linear frontage of the front elevation of the home; or,**
- 3. Garage doors may be located on another side of the dwelling (rear or side elevation) provided that the entry drive to the garage space is made from an adjacent local/private street or alley.**

* For plans which utilize as **standard**, a garage that is flush with the forward most living space façade of the home; optional garage extensions will not count against the plan designation as Non-Garage Dominant.

Town of Buckeye

C. Maximum Garage Width

The maximum width of front-loaded garages, including the garage door and architectural elements on each side of the garage door, shall not exceed 30 percent of the overall building façade width on lots of 10,000 square feet or greater; 40 percent of the façade width on lots of between 6,000 and 10,000 square feet; and 50 percent of the façade width on lots of less than 6,000 square feet.

Town of Queen Creek

Residential Architectural Design Standards

III.A – Recessed Garage

Do This



Not This



III. Garage Dominance

- A. Front loaded garages shall be recessed a minimum of 5 feet from the front plane of the living area to provide interest and relief from the street. (*Z)
- B. Detached garages and side entry garages are encouraged.
- C. The width of front loaded garages (from outside of return to outside of return) shall not exceed 40% of the width of the front façade. (*Z)

City of Casa Grande

4. Patio covers

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas should be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

City of Chandler

Residential Development Standards

HC

5. Provide enhanced rear elevations along arterial and collector streets and open spaces. Vary rooflines at rear, e.g., avoid unbroken roof ridgelines by using building projections or different roof features such as dormers, parapets, etc. extending out from main body of building
6. Provide a variety of roofing colors, textures, and component shapes, e.g., “barrel” tile and flat concrete tile.
7. Incorporate durable exterior materials and finishes that may include brick, masonry, stone, or stucco facades; 30-year warranted roof materials are considered mandatory. Wood siding is not permitted.
8. “Box-on-box”(two-story) homes to include a single-story element on rear elevations or second story plane changes or multiple roofs with different ridge orientations or other features, which may include covered patios extending from the home, bay windows, cantilevers, dormers, etc. that break up the “box-on-box” effect as approved by the City.



Standard rear patios provide needed shade from the Arizona sun.

9. Provide standard covered rear patios on all floor plans.



Entries should be the focal point through the use of columns or other architectural features

- (q) The design of accessory structures shall be architecturally similar to the main structure through the use of the same architectural treatment, materials and colors.
- (r) Roof mounted HVAC and evaporative cooler equipment shall be prohibited. All equipment shall be properly screened from public view. Vents and flues should be located to occur on the least prominent side of the ridgeline whenever possible and shall be painted to match the color of the roof.
- (s) All roof pipes, vents, and other roof penetrations and attachments, and equipment shall be configured to have minimal visual impact as seen from the street. Roof penetrations (except chimneys) shall not extend above the ridgeline and shall be painted or architecturally integrated with the roof design and color.
- (t) Utilizing “carriage-style” and other non-conventional sectional garage door styles is recommended to provide additional diversity and to better tie in with architectural themes.
- (u) A useable, covered outdoor patio should be provided on the rear side of each unit. Covered patio dimensions should be at least 100 square feet, with a minimum interior dimension of ten feet (10’).

Town of Queen Creek

IV.I – Window Detailing

Do This

Not This



IV.K – Rear Patio



H. The use of T1-11 siding (rough-sawn plywood siding with vertical grooves at 4" or 8" O.C.) shall be avoided.

I. Design windows to have traditional-appearing details, such as trim and sills or recessed windows, rather than false pop-outs or other artificial applications.

J. Provide an architectural theme for window treatments that is carried through on all four sides of the structure.

K. An all-weather, hard surfaced, covered outdoor rear patio area of not less than one hundred and eighty (180) square feet shall be provided for any lot with an area not exceeding eighteen thousand (18,000) square feet. The rear patio shall be design to be integrated with the architecture of the home and be appropriately related to open areas of the lot for the purpose of providing suitable outdoor living space to supplement the limited interior spaces. (*Z)

L. The building materials of the project shall be durable and require low maintenance. (*Z)

REQUIREMENTS

As part of all Home Product Lines submitted for Design Review, Homebuilders are presented two options for meeting the requirements for the City of Surprise; Option A & B. Each possesses a unique base requirement as well as required additional features listed under Point Options Lists.

The following lists, Option A & B, establish the minimum requirements for all Product Lines submitted to the City of Surprise. In addition to the minimum requirements, 100 points must be accumulated from the Point Options List.

Option A

Minimum Requirements

- 75% of plans submitted must be Non-Garage Dominant Architecture;
- At minimum, three (3) distinctly different elevations;

It is the City's desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that "elevation 'A' does not cost less than 'B', which costs less than elevation 'C', etc., etc.

- Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;
- Multiple roofing material styles: Flat tile, Barrel (S) tile; etc;
- Four-sided Architecture: Door and Window-casing treatments (pop-outs) located on front elevations must be continued to all subsequent elevations for all plans;
- Horizontal Bands, Wainscots, columns and/or Pilasters, or any other architectural element and decorative materials applied to any front building elevation must wrap around (corners) onto adjoining walls of the structure to a visually appropriate terminating point (all horizontal elements will be assessed at the time of submittal and type of architecture as to what the recommended termination point must be);
- Rear covered patio that integrates architecturally with the home;
- One (1) Elevation per plan must include a Front Porch or Covered Entry-Way as standard. Required Front Porches and Covered Entry-Ways must be at minimum 5' X 8' clear of obstructions;

City of Casa Grande

3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.

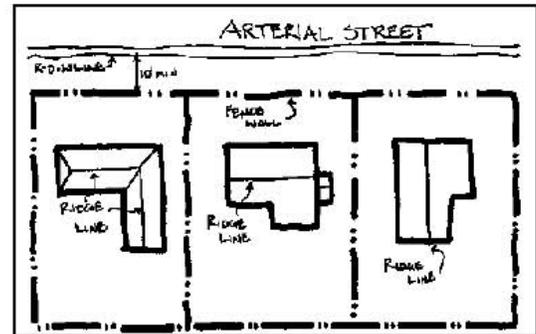
City of Chandler

Residential Development Standards

2. Prohibit the same front elevation on adjoining homes or homes located directly across the street.
3. Standard feature stone, brick or other accent façade material on at least one (1) elevation for each floor plan available, offered as a standard feature, not an option.
4. Provide distinctive architectural details on all elevations, e.g., covered front entries, covered front porches, door and window details, roof features, parapet walls with cap features, eave details, front door styles, dormers, etc.
5. Provide screening or other accommodation for trash containers, recycling bins, household tools and equipment.
6. Incorporate standard front porches, defined courtyards or other defined front yard outdoor living spaces on at least one (1) elevation for each floor plan available.
7. Limit the amount of two-story homes along arterial and collector streets to no more than every third lot. Two-story homes shall be prohibited from backing up to the Price and Santan Freeways.
8. Break up the main ridgeline on roof slopes, whereby at least 25% of the ridgeline includes multiple roof elevations or plane changes, unless precluded by a specific architectural style.
9. Prohibit a series of roof slopes visible from the arterial that are all parallel with, or all perpendicular to, the arterial street by limiting identical rear elevation roof lines to no more than two (2) adjacent lots.



This front courtyard defines a functional outdoor living space.



A variation in roof slopes between homes promotes a more diverse streetscape.



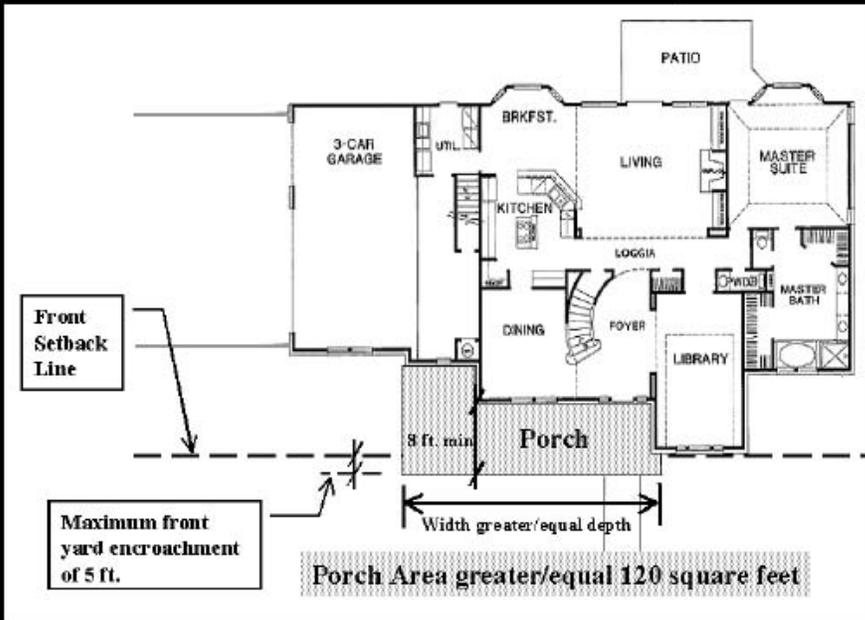
Elevations shall be structurally different with different roof types facing the street

- (f) At least three (3) significantly different architectural styles shall be provided for each floor plan. Elevations shall be structurally different with different roof types facing the street.
- (g) Useable front porches are highly encouraged. Front porches should match the scale and architectural detail of the home.
- (h) Provide a variety of roof forms and ridgelines. Elevations should be structurally different, with different roof types facing the street.
- (i) Deep-set or pop-out windows and doors along with other architectural projections and recesses shall be used to provide individuality of units.
- (j) Courtyard walls a maximum of three feet (3') in height in the front yard (or side yards) adjacent to the driveways areas are encouraged to create useable gathering areas.

Town of Queen Creek

Residential Architectural Design Standards

II.J, K – Front Porch Projection



J. At least 40% of front elevations shall incorporate a porch, courtyard, or combination thereof with a minimum area of 120 square feet, a depth no less than 8 feet, and a width equal to or greater than the depth. (*Z) This requirement does not apply to the R1-18 zoning district.

K. Covered front porches meeting minimum ordinance requirements may be allowed to encroach into the front yard setback up to 5 feet. (*Z)

L. Single-story houses built in the R1-6, R1-7, R1-8, and R1-9 single-family residential districts will be allowed an increase in lot coverage to 45% where front porches are provided that are a minimum of 120 square feet and 8 feet in depth. (*Z)

M. Single-story houses built in the R1-12 single-family residential district will be allowed an increase in lot coverage to 40% where front porches are provided that are a minimum of 120 square feet and 8 feet in depth. (*Z)

- b. *Site Design Elements.*
 - i. *Alley-Accessed Parking.* Parking for at least 50 percent of lots in the development is accessed from the rear of the lots via an alley or alleys.
 - ii. *Shared or Clustered Driveways.* Driveways are paired so that there is a single curb-cut providing access to 2 houses, and the total width for the paired driveway is not more than 18 feet. Alternatively, driveways may be clustered (but need not share the same curb cut) so that there is at least 36 feet of uninterrupted curb between the clustered driveways.
 - iii. *Variable Front Yards.* No more than 50 percent of homes will be set back the same distance from the front lot line, and at least 50 percent of the homes will be set back at least 2 feet farther than the minimum. This element may be accomplished by recording “build-to” lines on the final subdivision map.
 - iv. *Variety of Lot Widths.* Varieties of lot widths are provided to accommodate a variety of home styles, setbacks, and garage placements. At least 30 percent of the lots vary from the predominate(mode) lot width in the development by at least 20 percent.
- c. *Building Design Elements.*
 - i. *Garage Setbacks.* All garages will be set back at least 3 feet behind the primary front façade of the dwelling.
 - ii. *Variable Garage Entries.* The development plan includes provisions for variable location of garage entries. At least 35 percent of the lots will have garages that are side-loaded, or set entirely in the rear half of the lot in a detached garage.
 - iii. *Entries and Porches.* At least 50 percent of the homes include entries and covered porches extending along a minimum of 50 percent of the width of the homes’ front facades, excluding the width of garages. Porches meeting this requirement shall have a minimum width of 8 feet and a minimum depth of 4 feet.
 - iv. *Architectural Diversity.* Projects with 20 or fewer lots have a minimum of 3 unique elevations. For each additional 20 lots, or portion thereof, an additional elevation shall be required. [Example: A 100 lot subdivision would require 7 unique elevations $(100-20)/20 = 4$; $4 + 3$ (for the first 20 lots) = 7]

City of Surprise

REQUIREMENTS

As part of all Home Product Lines submitted for Design Review, Homebuilders are presented two options for meeting the requirements for the City of Surprise; Option A & B. Each possesses a unique base requirement as well as required additional features listed under Point Options Lists.

The following lists, Option A & B, establish the minimum requirements for all Product Lines submitted to the City of Surprise. In addition to the minimum requirements, 100 points must be accumulated from the Point Options List.

Option A

Minimum Requirements

- 75% of plans submitted must be Non-Garage Dominant Architecture;
- At minimum, three (3) distinctly different elevations;

It is the City's desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that "elevation 'A' does not cost less than 'B', which costs less than elevation 'C', etc., etc.

- Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;
- Multiple roofing material styles: Flat tile, Barrel (S) tile; etc;
- Four-sided Architecture: Door and Window-casing treatments (pop-outs) located on front elevations must be continued to all subsequent elevations for all plans;
- Horizontal Bands, Wainscots, columns and/or Pilasters, or any other architectural element and decorative materials applied to any front building elevation must wrap around (corners) onto adjoining walls of the structure to a visually appropriate terminating point (all horizontal elements will be assessed at the time of submittal and type of architecture as to what the recommended termination point must be);
- Rear covered patio that integrates architecturally with the home;
- One (1) Elevation per plan must include a Front Porch or Covered Entry-Way as standard. Required Front Porches and Covered Entry-Ways must be at minimum 5' X 8' clear of obstructions;

Home Builder	Subdivision	# of Floors	Plan	Standard Covered Rear Patio	Size	Square Footage
DR Horton	Sorrento	2 Story	4019	Yes	20' x 10'	200
DR Horton	Sorrento	2 Story	1047	Yes	16' x 10'	160
DR Horton	Sorrento	1 Story	1749	Yes	19' x 8'	152
DR Horton	Sorrento	1 Story	4013	Yes	18' x 10'	180
DR Horton	Sorrento	2 story	2748	No	-	
DR Horton	Sorrento	1 Story	1744	Yes	14'8" x 12'	176
DR Horton	Sorrento	1 Story	1041	Yes	14' 10" x 10'	148
DR Horton	Sorrento	1 Story	1032	Yes	11'6" x 8'6"	97
DR Horton	Sorrento	1 Story	2741	No	-	
KB Homes	Desert Passage	1 Story	1678	No	-	
KB Homes	Desert Passage	2 Story	1772	No	-	
KB Homes	Desert Passage	1 Story	1849	No	-	
KB Homes	Desert Passage	2 Story	2215	No	-	
LGI Homes	Glennwilde	2 Story	2555	Yes	16' x 8'	128
LGI Homes	Glennwilde	2 Story	2130	Yes	16' x 8'	128
LGI Homes	Glennwilde	2 Story	1838	Yes	10' x 15'	150
LGI Homes	Glennwilde	1 Story	1552	Yes	10'6" x 14'	147
LGI Homes	Glennwilde	1 Story	1450	Yes	11'4" x 7'	79
Meritage Homes	Lakes at RED	1 Story	155-3118	Yes		
Meritage Homes	Lakes at RED	2 Story	255-3617	Yes		
Richmond American Homes	Villages at RED	1 Story	P21S	Yes	19'4" x 8'	154
Richmond American Homes	Villages at RED	1 Story	P19S	Yes	13' x 8'	104
Richmond American Homes	Villages at RED	1 Story	P26S	Yes	13'6" x 8'	108
Richmond American Homes	Villages at RED	1 Story	P29S	Yes	14' x 8'	112
Lifestyle Homes	Rancho Mirage	1 Story	354	Yes	10' x 9'	90
Lifestyle Homes	Rancho Mirage	1 Story	381	Yes	8' 4" x 8'	66
Lifestyle Homes	Rancho Mirage	1 Story	382	Yes	12' 6" x 8'	100
Lifestyle Homes	Rancho Mirage	2 Story	385	Yes	8' x 10'	80

SKR Homes	Alterra	1 Story	1700	Yes	16' x 8'	128
SKR Homes	Alterra	1 Story	1564	Yes	8'4" x 9'6"	79
Elliot Homes	Santa Rosa Springs	1 Story	4803	Yes	10' x 14'	140
Elliot Homes	Santa Rosa Springs	1 Story	4804	Yes	10' x 19' 4"	193
Elliot Homes	Santa Rosa Springs	2 Story	4806	Yes	10' x 25'	250
DR Horton	Homestead	1 Story	3535	No		
Richmond American Homes	Glennwilde	1 Story	P21S	Yes	19'4" x 8'	154
Richmond American Homes	Glennwilde	1 Story	P19S	Yes	13' x 8'	104
Richmond American Homes	Glennwilde	1 Story	P26S	Yes	13'6" x 8'	279
Richmond American Homes	Glennwilde	2 Story	P294	Yes	19' x 9'	171
Richmond American Homes	Glennwilde	2 Story	P288	Yes	15' x 10'	150
Richmond American Homes	Glennwilde	2 Story	P30S	Yes	14' x 10'	140
LGI Homes	Glennwilde	2 Story	2053	Yes	16' x 8'	128
LGI Homes	Glennwilde	2 Story	1389	Yes	10' x 13'	130
KB Homes	Desert Passage	2 Story	235.338	No		
KB Homes	Desert Passage	2 Story	235.3165	No		
KB Homes	Desert Passage	2 Story	235.2862	No		
KB Homes	Desert Passage	2 Story	235.2632	No		
KB Homes	Desert Passage	2 Story	235.2431	No		
KB Homes	Desert Passage	2 Story	235.2248	No		
KB Homes	Desert Passage	1 Story	135.1786	No		
KB Homes	Desert Passage	1 Story	135.1849	No		