

City of Casa Grande

3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.

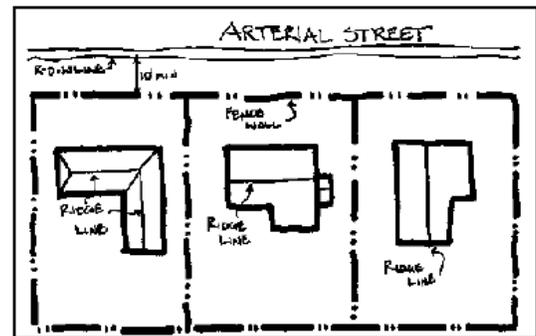
City of Chandler

Residential Development Standards

2. Prohibit the same front elevation on adjoining homes or homes located directly across the street.
3. Standard feature stone, brick or other accent façade material on at least one (1) elevation for each floor plan available, offered as a standard feature, not an option.
4. Provide distinctive architectural details on all elevations, e.g., covered front entries, covered front porches, door and window details, roof features, parapet walls with cap features, eave details, front door styles, dormers, etc.
5. Provide screening or other accommodation for trash containers, recycling bins, household tools and equipment.
6. Incorporate standard front porches, defined courtyards or other defined front yard outdoor living spaces on at least one (1) elevation for each floor plan available.
7. Limit the amount of two-story homes along arterial and collector streets to no more than every third lot. Two-story homes shall be prohibited from backing up to the Price and Santan Freeways.
8. Break up the main ridgeline on roof slopes, whereby at least 25% of the ridgeline includes multiple roof elevations or plane changes, unless precluded by a specific architectural style.
9. Prohibit a series of roof slopes visible from the arterial that are all parallel with, or all perpendicular to, the arterial street by limiting identical rear elevation roof lines to no more than two (2) adjacent lots.



This front courtyard defines a functional outdoor living space.



A variation in roof slopes between homes promotes a more diverse streetscape.



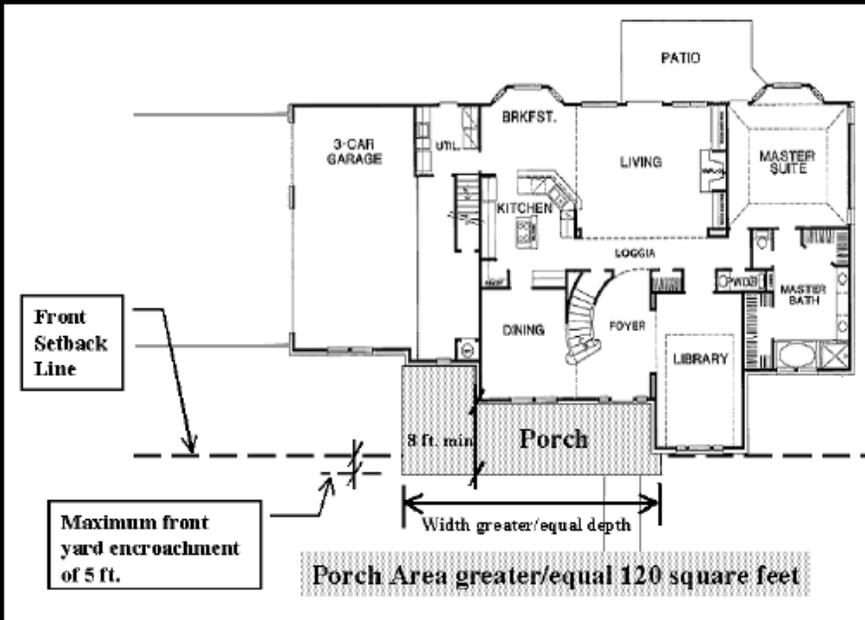
Elevations shall be structurally different with different roof types facing the street

- (f) At least three (3) significantly different architectural styles shall be provided for each floor plan. Elevations shall be structurally different with different roof types facing the street.
- (g) Useable front porches are highly encouraged. Front porches should match the scale and architectural detail of the home.
- (h) Provide a variety of roof forms and ridgelines. Elevations should be structurally different, with different roof types facing the street.
- (i) Deep-set or pop-out windows and doors along with other architectural projections and recesses shall be used to provide individuality of units.
- (j) Courtyard walls a maximum of three feet (3') in height in the front yard (or side yards) adjacent to the driveways areas are encouraged to create useable gathering areas.

Town of Queen Creek

Residential Architectural Design Standards

II.J, K – Front Porch Projection



J. At least 40% of front elevations shall incorporate a porch, courtyard, or combination thereof with a minimum area of 120 square feet, a depth no less than 8 feet, and a width equal to or greater than the depth. (*Z) This requirement does not apply to the R1-18 zoning district.

K. Covered front porches meeting minimum ordinance requirements may be allowed to encroach into the front yard setback up to 5 feet. (*Z)

L. Single-story houses built in the R1-6, R1-7, R1-8, and R1-9 single-family residential districts will be allowed an increase in lot coverage to 45% where front porches are provided that are a minimum of 120 square feet and 8 feet in depth. (*Z)

M. Single-story houses built in the R1-12 single-family residential district will be allowed an increase in lot coverage to 40% where front porches are provided that are a minimum of 120 square feet and 8 feet in depth. (*Z)

- b. *Site Design Elements.*
- i. *Alley-Accessed Parking.* Parking for at least 50 percent of lots in the development is accessed from the rear of the lots via an alley or alleys.
 - ii. *Shared or Clustered Driveways.* Driveways are paired so that there is a single curb-cut providing access to 2 houses, and the total width for the paired driveway is not more than 18 feet. Alternatively, driveways may be clustered (but need not share the same curb cut) so that there is at least 36 feet of uninterrupted curb between the clustered driveways.
 - iii. *Variable Front Yards.* No more than 50 percent of homes will be set back the same distance from the front lot line, and at least 50 percent of the homes will be set back at least 2 feet farther than the minimum. This element may be accomplished by recording “build-to” lines on the final subdivision map.
 - iv. *Variety of Lot Widths.* Varieties of lot widths are provided to accommodate a variety of home styles, setbacks, and garage placements. At least 30 percent of the lots vary from the predominate(mode) lot width in the development by at least 20 percent.
- c. *Building Design Elements.*
- i. *Garage Setbacks.* All garages will be set back at least 3 feet behind the primary front façade of the dwelling.
 - ii. *Variable Garage Entries.* The development plan includes provisions for variable location of garage entries. At least 35 percent of the lots will have garages that are side-loaded, or set entirely in the rear half of the lot in a detached garage.
 - iii. *Entries and Porches.* At least 50 percent of the homes include entries and covered porches extending along a minimum of 50 percent of the width of the homes’ front facades, excluding the width of garages. Porches meeting this requirement shall have a minimum width of 8 feet and a minimum depth of 4 feet.
 - iv. *Architectural Diversity.* Projects with 20 or fewer lots have a minimum of 3 unique elevations. For each additional 20 lots, or portion thereof, an additional elevation shall be required. [Example: A 100 lot subdivision would require 7 unique elevations $(100-20)/20 = 4$; $4 + 3$ (for the first 20 lots) = 7]

City of Surprise

REQUIREMENTS

As part of all Home Product Lines submitted for Design Review, Homebuilders are presented two options for meeting the requirements for the City of Surprise; Option A & B. Each possesses a unique base requirement as well as required additional features listed under Point Options Lists.

The following lists, Option A & B, establish the minimum requirements for all Product Lines submitted to the City of Surprise. In addition to the minimum requirements, 100 points must be accumulated from the Point Options List.

Option A

Minimum Requirements

- 75% of plans submitted must be Non-Garage Dominant Architecture;
- At minimum, three (3) distinctly different elevations;

It is the City's desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that "elevation 'A' does not cost less than 'B', which costs less than elevation 'C', etc., etc.

- Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;
- Multiple roofing material styles: Flat tile, Barrel (S) tile; etc;
- Four-sided Architecture: Door and Window-casing treatments (pop-outs) located on front elevations must be continued to all subsequent elevations for all plans;
- Horizontal Bands, Wainscots, columns and/or Pilasters, or any other architectural element and decorative materials applied to any front building elevation must wrap around (corners) onto adjoining walls of the structure to a visually appropriate terminating point (all horizontal elements will be assessed at the time of submittal and type of architecture as to what the recommended termination point must be);
- Rear covered patio that integrates architecturally with the home;
- One (1) Elevation per plan must include a Front Porch or Covered Entry-Way as standard. Required Front Porches and Covered Entry-Ways must be at minimum 5' X 8' clear of obstructions;