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Maricopa Station



Comprehensive Sign Plan

CSP 14-02
V 4.0 April, 2015

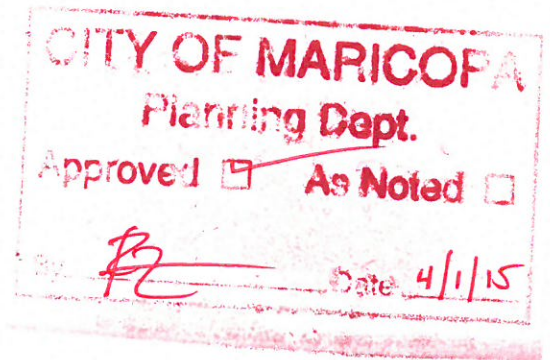
Architect / Designer



Owner



Sign Consultant



Maricopa Station Comprehensive Sign Plan

V 4.0 April, 2015

Narrative

Maricopa Station is a retail center comprised of one multi-tenant building and one freestanding pad site located just north of the existing CVS Pharmacy on the NEC of Maricopa Road (SR 347) John Wayne Parkway and Smith Enke Road. The property is zoned CB-2 and comprises 2.45 acres and is currently being developed by Vintage Partners.

The multi-tenant retail building will consist of up to five tenant spaces. Currently, Starbucks and Chipotle are signed tenants and occupy the end suites respectively of the multi-tenant retail building. Negotiations are ongoing to fill the remainder of the retail space. All retail tenants will be required to comply with the General Requirements section of the Comprehensive Sign Plan as stated herein.

The freestanding Pad Site will be a stand alone fast food restaurant establishment. The sign requirements for this Pad Site user has been included within this Comprehensive Sign Plan submittal.

A freestanding monument sign has been designed to accommodate the Multi-tenant retail uses. In addition, a separate single user freestanding pad monument sign will be used to identify the pad user. Approval of the two freestanding monument signs is critical to ensure the success of this project.

The sign theme for Maricopa Station is based upon integrating the architectural theme of the development while providing for the adequate identification of the individual business uses. It is the Developer's desire to establish a complete sign theme for Maricopa Station and to provide a set of guidelines that ensure the economic success of the development, its business uses, and to provide a thematic visual benefit to the City of Maricopa.

Architect / Designer



Owner

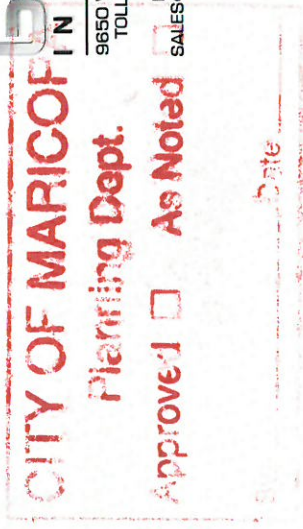


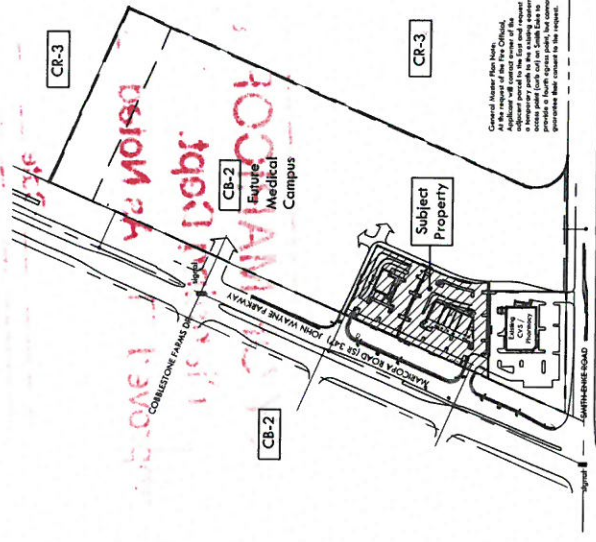
VINTAGE
PARTNERS

Sign Consultant



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1 Master Plan
 SCALE 1" = 300'

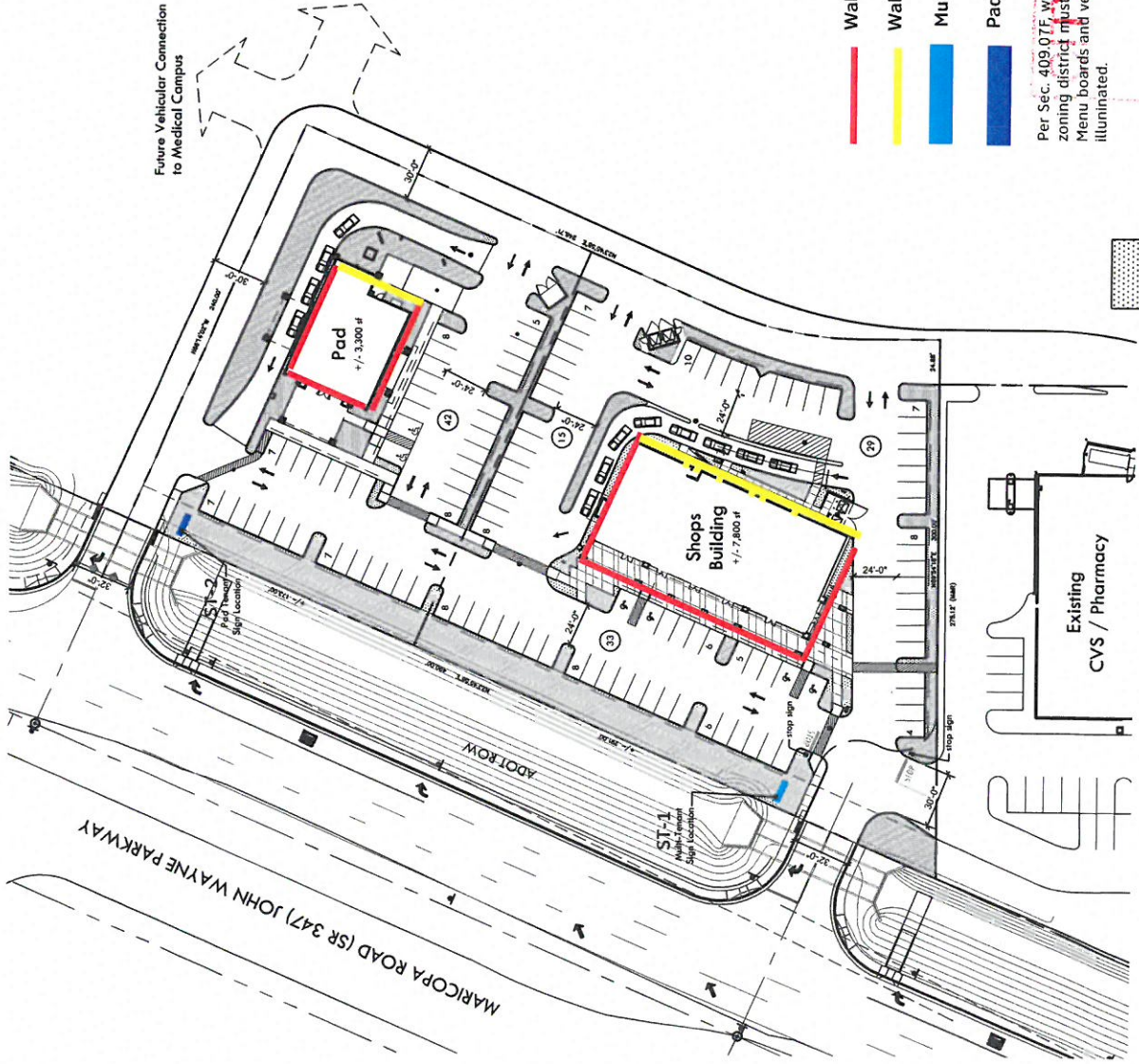
Overall Project Data

CB-2
 LOT 2 OF DIGNITY HEALTH AMARICOPA MEDICAL CAMPUS
 IN PLAT # 2012-083730 IN SEC 15-0-45-03E - 106,579
 SQ. FT. - 2.45 AC
 APN 512-03-015C

- Wall Signs (Illuminated)
- Wall Signs (*Non-Illuminated)
- Multi-Tenant Freestanding Monument Sign (ST-1)
- Pad Tenant Freestanding Monument Sign (ST-2)

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Planning Dept.
Approved **As Noted**
 Date



2 Site Plan
 SCALE 1" = 300'

Landscape Area, Typ



Per Sec. 409.07F, wall signs facing a residential zoning district must be non-illuminated. Menu boards and vehicular directional signs must be illuminated.

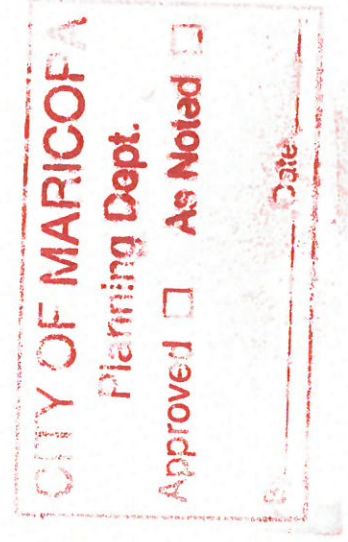
Maricopa Station

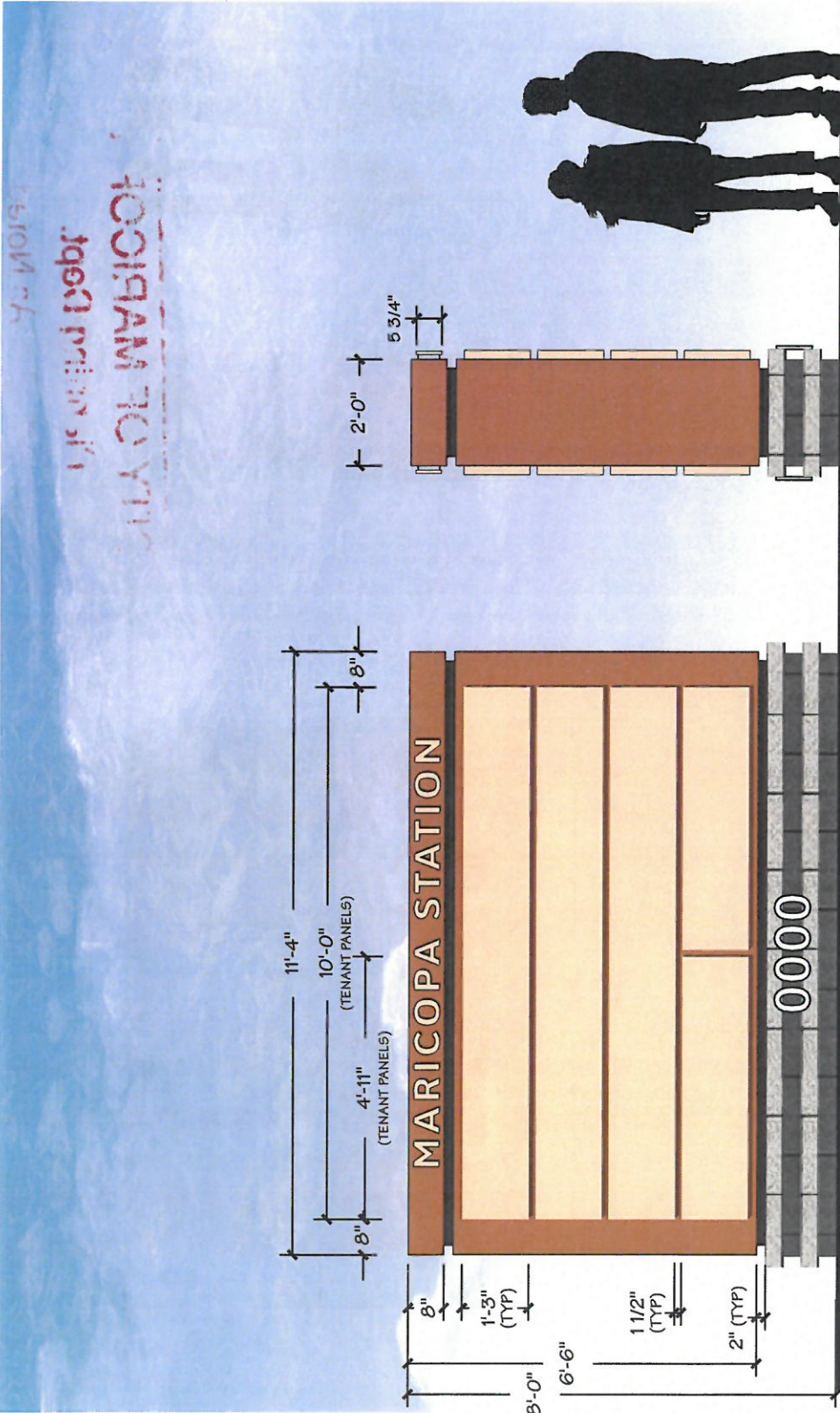
Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
ST 1 Multi-Tenant Sign	Monument	Multi-tenant Identification for Shop Building Tenants	Placed along Maricopa Road (SR347) John Wayne Parkway	1	8'-0" Maximum Above Grade	70 SF of Multi-Tenant Sign Area Exclusive of Center Architectural Embellishments	Internal Illumination	Textured Aluminum, Push Thru Acrylics, and Masonry Base
ST 2 Pad Tenant Sign	Monument	Pad Tenant Identification	Placed along Maricopa Road (SR347) John Wayne Parkway	1	8'-0" Maximum Above Grade	40 SF of Sign Area Exclusive of Architectural Embellishments	Internal Illumination	Textured or Painted Aluminum, Acrylics, and Masonry Base
Menu Boards	Miscellaneous Sign Type	Provide Menu Items to Vehicular Traffic	Drive Thru Lane	3 Maximum	6'-0" Maximum Above Grade	48 SF Maximum Exclusive of Architectural Embellishments	Internal Illumination	Textured or Painted Steel and Aluminum, Acrylics, LED Screens
Traffic Directional	Miscellaneous Sign Type	Directs Vehicular Traffic to Drive Thru Lanes	Placed On-site to Promote Safe Vehicular Access	3 Maximum	4'-0" Maximum Above Grade	3 SF Maximum Exclusive of Architectural Embellishments	Internal Illumination	Textured or Painted Steel and Aluminum, Acrylics

General Note:

Traffic Directional and Menu Board signs may include business identification and logos designed to maintain established corporate identification sign programs.





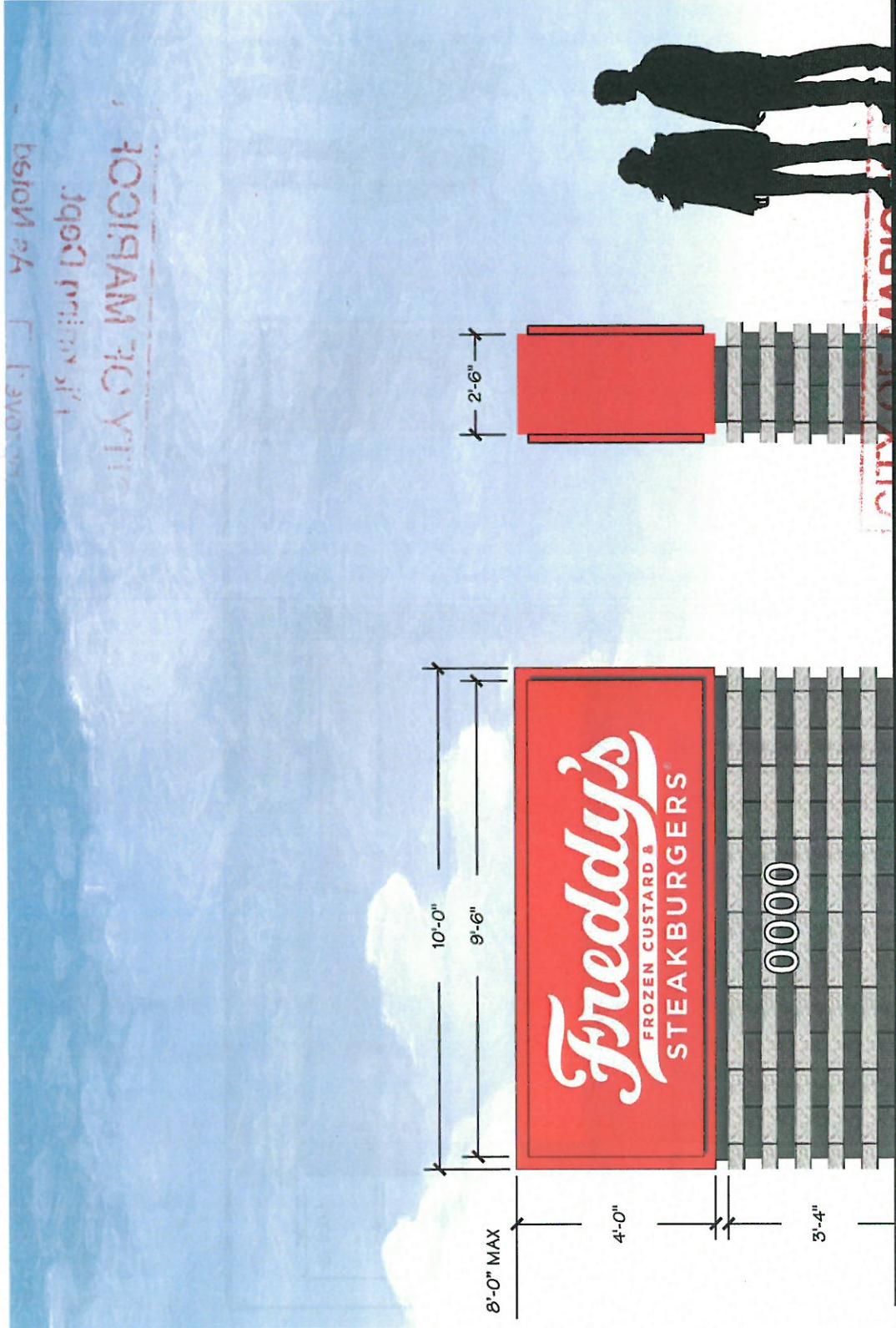
SCALE: 1/2" = 1'-0"

ST-1 FREESTANDING MULTI-TENANT MONUMENT SIGN

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SCALE: 1/2" = 1'-0"

ST-2 FREESTANDING PAD MONUMENT SIGN

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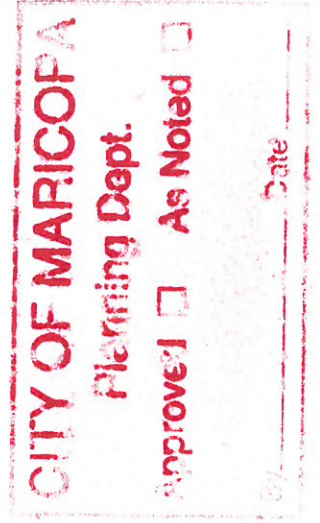
Maricopa Station

Building Sign Matrix Shop Tenants

USER	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Business ID	Wall surfaces and architectural features designed to accommodate signage.	48" Maximum Letter Height 60" Maximum Logo Height (See Note "a" Below)	1.5 SF / Linear Foot of Storefront and/or Building Elevation (Typical) (See Note "a" Below)	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants	Under Canopy Blade Sign	Business ID	In front of Tenant's leased space	Maintain 8' Clearance Above Finished Floor	8 SF Maximum	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

a. The permitted sign area for each Tenant shall be calculated by multiplying 1.5 times the length of the Tenant's business storefront footage and/or each elevation occupied by the Tenant. Tenants that occupy the end caps of the retail shop space may place signage on three elevations. Tenants that occupy in-line positions may place signage on two elevations. Any wall sign placed on the rear (east) elevation of the building must be non-illuminated. Tenant building signage may contain multiple sign elements whose sign area does not exceed the amount calculated as prescribed herein. Tenants having multiple elevations that afford sign placements other than the Tenant's storefront shall be permitted to place building signage on them. The sign area for these additional elevations shall be calculated in the same manner as described above. Tenants having less than twenty (20) feet of business front footage shall be permitted a minimum sign area of thirty two (32) square feet.

b. All Tenants shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein.



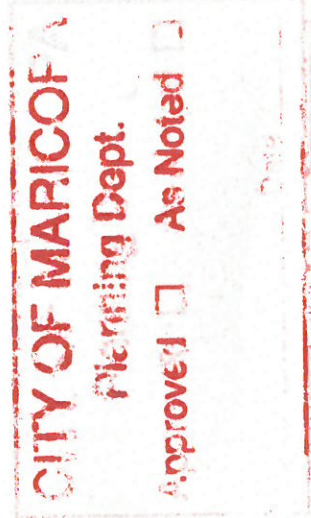
Maricopa Station

Building Sign Matrix Pad User

USER	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad User	Wall Signs	Business ID	Wall surfaces and architectural features designed to accommodate signage.	48" Maximum Letter Height 72" Maximum Logo Height (See Note "b" Below)	1.5 SF / Linear Foot of Each Building Elevation (Typical) (See Note "a" Below)	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material

a. The Pad User shall be permitted to place building signage on each building elevation. The permitted sign area that can be placed on any single elevation shall be calculated by multiplying 1.5 times the length of the that elevation. Any wall sign placed on the rear (east) elevation of the pad building must be non-illuminated. The Pad User's building signage may contain multiple sign elements whose sign area does not exceed the amount calculated as prescribed herein.

b. All Tenants shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein.



Keynotes

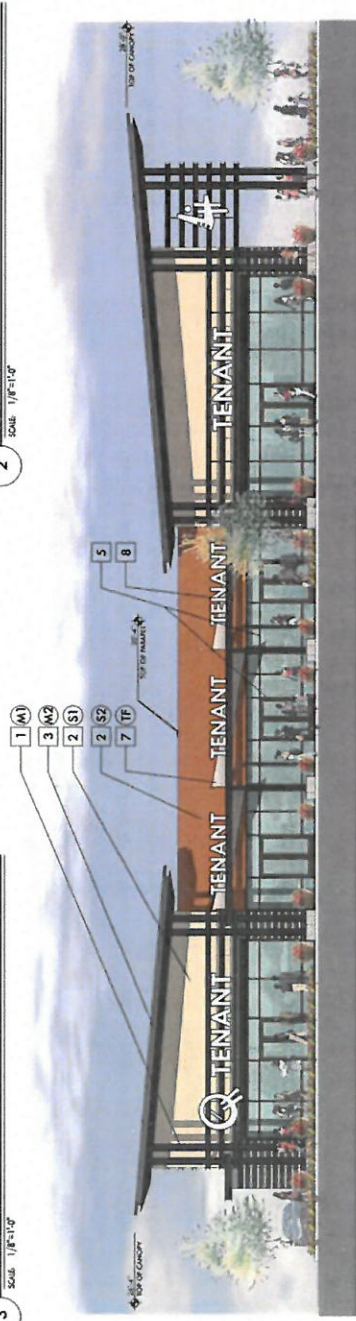
1. Painted steel channels and wide flange columns
2. Colored synthetic stucco wall finish
3. Pre-finished metal roofing and fascia
4. Exposed CMU, stain finish
5. Aluminum storefront system, dark bronze finish
6. Hollow metal door and frame
7. Textured fabric shades - UV resistant material - natural
8. Tenant signage per separate permit



3 South Elevation
SCALE: 1/8"=1'-0"



2 North Elevation
SCALE: 1/8"=1'-0"



4 West Elevation
SCALE: 1/8"=1'-0"



5 East Elevation
SCALE: 1/8"=1'-0"

B1 Paint on Smooth Base Color: Light Gray	S1 Paint on Synthetic Stucco Color: Light Gray	M1 Paint on Smooth Base Color: Light Gray
B2 Paint on Split Face Color: Light Gray	S2 Paint on Synthetic Stucco Color: Light Gray	M2 Paint on Smooth Base Color: Light Gray

TF
Textured Fabric Shade

Material and Color Samples

CITY OF MARICOPA

INDUSTRIAL

INDEPENDENT

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VINTAGE

Site

Maricopa Station

General Requirements

Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Maricopa Station for the mutual benefit of all business uses herein referred to as "User", and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Maricopa Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced by the Developer and the City of Maricopa. Any non-compliant sign(s) installed by a User shall be brought into conformance at the sole cost and expense of the User. This criteria is subject to final approval by the City of Maricopa as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and any subsequent revision approved by the City of Maricopa, the latter shall prevail.

I. GENERAL REQUIREMENTS

- A. User shall submit or cause to be submitted to Developer and/or his designated agent for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design, color, method of illumination, materials, and method of attachment of User's building mounted signage.
- B. User or User's representative shall obtain all required permits for all signs, including monument sign panels, wall mounted signs, under canopy signs, menu signs and vehicular directional signs from the City of Maricopa prior to installation.
- C. All building mounted signs shall be constructed and installed at User's sole expense. All freestanding site signage will be fabricated and installed by the Developer's designated sign contractor. User shall provide electronic artwork suitable for production to Developer's sign contractor who will produce User's signage on the site signage. User shall reimburse Developer for all site signage costs in accordance to the terms of their respective lease agreement.
- D. User shall be responsible for the fulfillment of all requirements and specifications, including those of the City of Maricopa.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of Developer and/or the Developer's designated agent.
- F. User shall be responsible for the installation and maintenance of User's building sign(s). Should User's building sign require maintenance or repair, Developer and/or the Developer's

designated agent shall give User thirty (30) days written notice to effect said maintenance or repair. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.

G. Advertising devices such as attraction boards, posters, and flags shall not be permitted. Temporary banners may be permitted to announce a grand opening or seasonal sale. Temporary banners must be approved in writing by the Developer and/or the Developer's designated agent and permitted by the City of Maricopa prior to its installation.

II. SPECIFICATIONS - USER BUILDING SIGNAGE

- A. General Specifications
 - 1. No animated, flashing or audible signs, except for menu boards, shall be permitted.
 - 2. All signs, including temporary signs and their installation shall comply with all City of Maricopa building and electrical codes.
 - 3. Exposed raceways, crossovers or conduit shall not be permitted unless physical circumstances exist that prohibit the signage from otherwise being installed. All User signage shall consist of individual letters and logos installed onto the building's wall surface. Sign cabinets are discouraged, however, may be approved if part of the User's nationally recognized corporate identification program. User signage shall not include any background color, material and/or structure used to delineate User's signage unless part of the User's nationally recognized corporate identification program.
 - 4. All cabinets, conductors, transformers and other equipment shall be concealed.
 - 5. Painted lettering shall not be permitted except as approved by the Developer and/or the Developer's designated agent and the City of Maricopa.
 - 6. Any damage to a wall surfaces, decorative steel, or roof deck resulting from User's sign installation shall be repaired at User's sole cost. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
 - 7. Upon removal of any sign by User, any damage to a wall surface and/or architectural element shall be repaired at User's cost. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.

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Approved As Noted
Date _____

DATE: 11/11/11 BY: MOISA
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11/11/11

1. User building signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer and/or Developer's agents and approved by the City of Maricopa. All signage shall be reviewed and approved by the Developer and shall be appropriate to the surrounding building features, environment, and thematic design of Maricopa Station. The Developer and the City of Maricopa shall have discretion in varying any provision of these specifications through Administrative Amendment and approval by the Zoning Administrator or his/her designee.

2. All Users shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein. All signage requires sign permits and approvals from the City of Maricopa under a separate submittal.

3. Where Shop Building User signage is installed on a common sign band and/or wall surface, the overall length of the sign shall not exceed a maximum of eighty (80%) percent of the User's leased storefront length. This percentage may be waived by the City of Maricopa if warranted by architectural building design conditions.

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be User's choice, subject to the approval of the Developer and/or Developer's agents and permit issuance by the City of Maricopa.

D. Illumination

1. Building signs may be illuminated by internal, backlit, or externally indirect lighting. All external lighting devices shall comply with the City of Maricopa "Dark Sky Ordinance".

E. Under Canopy Blade Sign

1. Each Shop Building User, at User's expense, may place an under canopy, non-illuminated blade sign.
2. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve in writing all copy and layout prior to its installation.
3. The blade sign shall be suspended and/or projected using a mechanism consistent with the architectural condition in front of User's leased space.

B. Location of Signs

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed within this CSP and authorized by the Developer and/or Developer's designated agent and as approved by the City of Maricopa.
2. User signage may be placed on all elevations that border the User's leased space.

III. DESIGN REQUIREMENTS BUILDING SIGNAGE

Individual illuminated letters and logos are recommended and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be mounted onto the building fascia and/or decorative steel surfaces designed to accommodate signage. Electrical connections shall be concealed to remote and/or self-contained transformers and power supplies. All signage shall be installed in compliance to the City of Maricopa electrical code in effect at the time of sign installation in addition to UL 2161 / UL 48 specifications and modifications thereto. The User at User's sole expense shall immediately repair any sign installation that has been found to be non-compliant.

A. Sign Area

1. The permitted wall sign area for each elevation that bounds the User's leased space shall be calculated by multiplying 1.5 times the length of the User's business storefront footage and/or elevation. User building signage may contain multiple sign elements whose sign area does not exceed the permitted amount calculated as prescribed herein. Users having multiple elevations that afford sign placements other than the User's business storefront shall be permitted to place building signage on them. The permitted sign area for these additional elevations shall be calculated in the same manner as described above. Users having less than thirty twenty (20) feet of business front footage shall be permitted a minimum sign area of thirty-two (32) square feet. The City of Maricopa shall have the discretion in varying any provision of these specifications. Variations to sign area and/or heights standard shall be limited to twenty-five (25%) percent.

B. Letter Height and Placement Restrictions

CITY OF MARICOPA
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Date _____

Ys Moris

CITY OF MARICOPA

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All illuminated signage shall be fabricated in a manner to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. Required labels or other identification shall be permitted on the exposed surface of signs and shall be applied in an inconspicuous location.
- E. User shall be fully responsible for the operations of User's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof. Users shall employ only Arizona licensed sign contractors licensed to conduct business within the City of Maricopa. The Tenant's sign contractor shall furnish to the Developer and/or Developer's agents Certificates of Insurance for both General Liability and Workers Compensation prior to commencement of any sign installation.
- F. All signs will require separate sign permits issued by the City of Maricopa prior to their installation.

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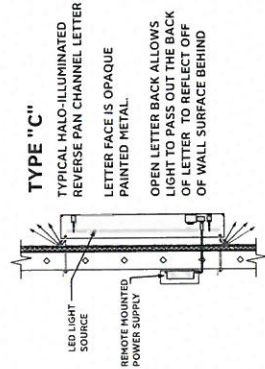
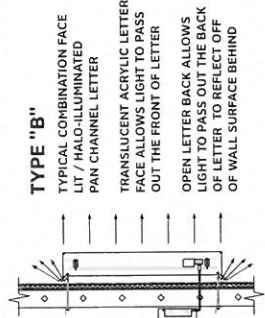
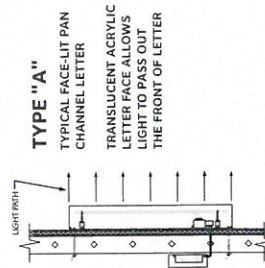


Typical Tenant Building Signage

1. Individual Business Identification

- A. Building wall signs.
1. Allowable sign area shall be calculated by multiplying one and one-half (1 1/2) square feet times the lineal foot of building elevation occupied by the tenant. Signage may be placed on all elevations occupied by the tenant.
 2. Signage shall be permitted on structural steel as illustrated on the rendering above.
 3. Such sign shall be installed with the exposed face of the sign in a plane parallel to the face of the building wall.
 4. Tenant signage may utilize any letter style and color of their choice subject to Developer approval.
 5. No individual upper case letter shall exceed 48" in height. Logos shall not exceed 72" in height. The Developer shall have the sole discretion in approving the design and placement of tenant signage.
 6. All signage is subject to City of Maricopa approval and sign permit issuance.
 7. Tenant wall signs installed on the rear (East) elevation shall be non-illuminated.

Building Signage Criteria



TENANT SIGN

48" MAX LTR LOGO HEIGHTS EXCLUDED

TYPICAL TENANT SIGNAGE SHALL CONSIST OF INDIVIDUAL PAN CHANNEL OR REVERSE PAN CHANNEL LETTERS (TYPE "A", "B", OR "C" LIGHTING METHOD) AND LOGOS FABRICATED USING 5" DEEP, .050 PRE-FINISHED OR PAINTED ALUMINUM RETURNS. ACRYLIC LETTER FACES PROVIDED (FOR TYPE "A" OR TYPE "B" LIGHTING METHODS) SHALL BE 3/16" THICK COLORED ACRYLIC OR COLORED USING TRANSLUCENT COLORED VINYL APPLIED 1ST SURFACE ON WHITE ACRYLIC. ATTACH ACRYLIC WITH 1" JEWELITE TRIMCAP RETAINERS. INTERIOR LED ILLUMINATION AS REQUIRED FOR EVEN ILLUMINATION. NATIONAL TENANTS SHALL BE PERMITTED TO UTILIZE THEIR RECOGNIZED CORPORATE IDENTIFICATION SIGNAGE PACKAGES

Typical Tenant Building Signage

Typical Tenant - Building Signage Lighting Methods

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Ученый секретарь

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