



NEELY ESTATES

CITY OF MARICOPA, ARIZONA

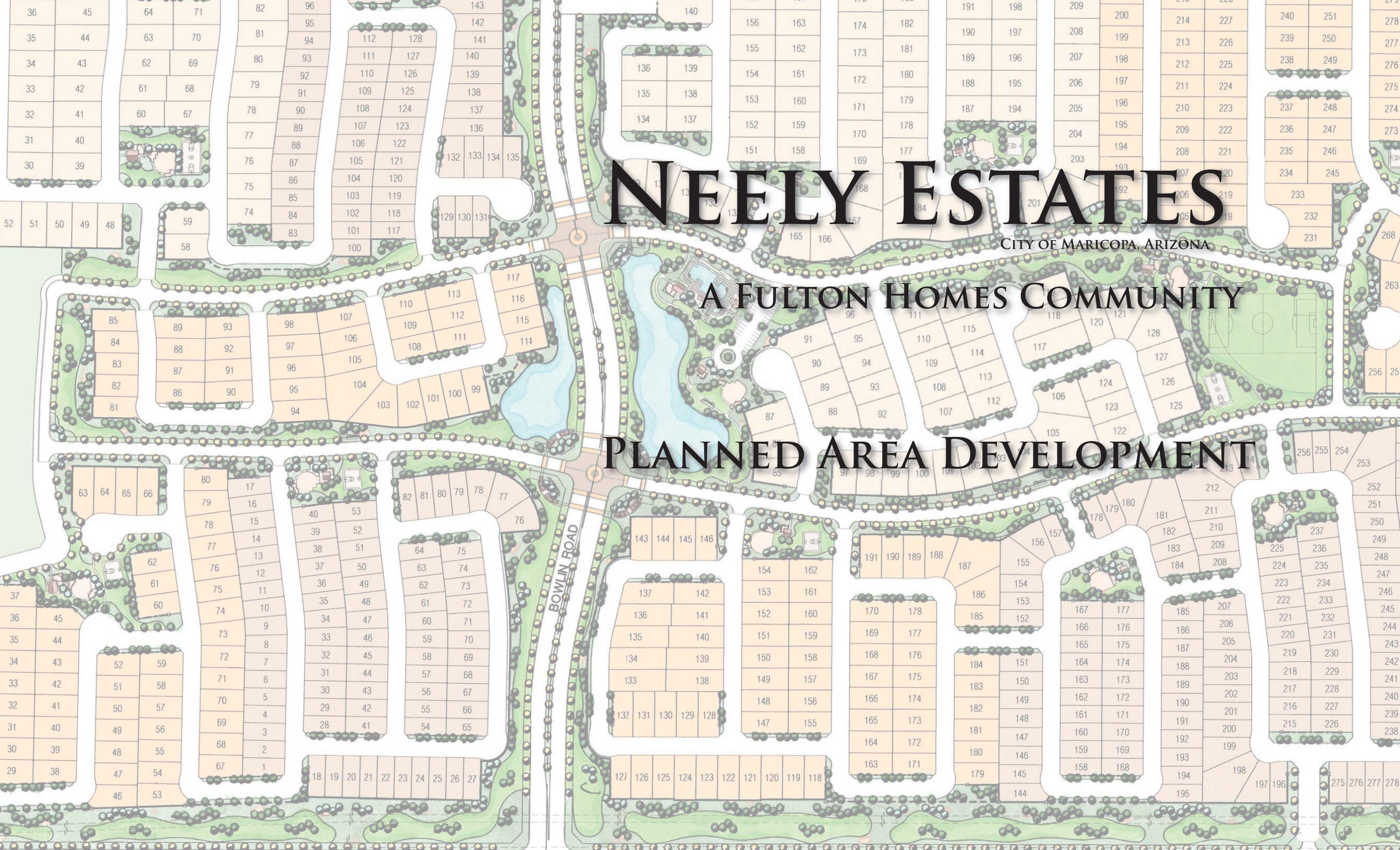
FEBRUARY 1, 2006

REVISED: APRIL 20, 2006

Cobblestone Farms

Welcome . . .





NEELY ESTATES

CITY OF MARICOPA, ARIZONA

A FULTON HOMES COMMUNITY

PLANNED AREA DEVELOPMENT

PROJECT TEAM



“YOU’RE PROUD TO OWN. WE’RE PROUD TO BUILD”

Developer and Applicant:



Fulton Homes Corporation
9140 South Kyrene
Suite 202
Tempe, Arizona 85284
Chris Janson
(480) 753-6789

Civil Engineer:



CMX, L.L.C.
3100 West Ray Road
Suite 201
Chandler, Arizona 85226
Garry Jagers, PE
(480) 648-1900

Landscape Architect:



PD/Saurey and Associates
3850 East Baseline Road
Suite 117
Mesa, AZ 85206
Paul Saurey
(480) 633-9569

Zoning Attorney:

Pew and Lake, PLC
1930 East Brown Road
Suite 101
Mesa, Arizona 85203
Ralph Pew
(480) 461-4673



✦ NARRATIVE

1.0 Executive Summary	6
2.0 Existing Conditions	11
A. Site Location	12
B. Existing Infrastructure	12
C. Existing Land Use, Zoning and General Plan	13
D. Existing Topography and Drainage	13
3.0 Community Development Plan	15
A. Community Character	16
B. Proposed Land Use	19
Residential Land Uses	19
Recreation and Amenities	21
Aquatic Center	21
Community Park and Trail System	22
Master Trail System	22
Landscaping	25
Walls, View Fences and Monumentation	27
C. Subdivision Diversity Elements	29
D. Timing of Development	31
4.0 Infrastructure	33
A. Circulation	35
B. Topography and Drainage	36
C. Public Utilities and Services	37
D. Maintenance of Streets and Common Areas	37
5.0 Architectural Design	39
A. Community Design Elements	40
B. Architectural Design Guidelines	41
Napa	41
Classics	42
Sonoma	43
6.0 Preliminary Drainage	45

✦ FIGURES

1 - Area Map	12
2 - Future Land Use Plan	13
3 - Topo Map	13
4 - Typical Fulton Entry Feature	16
5 - Conceptual Parks & Tot Lots	17
6 - Illustrative Master Plan	18
7 - Open Space Amenities	20
8 - Aquatic Center	21
9 - Community and Neighborhood Parks	22
10 - Conceptual Master Trail System	23
11 - Conceptual Master Landscape Plan	24
12 - Typical Fulton Amenity & Landscaping	25
13 - Site Architecture	26
14 - Theme Wall on Berm	27
15 - Typical Fulton Entry Monumentation	27
16 - Conceptual Gateways	28
17 - Entry Sign Wall at White and Parker Road	30
18 - Phasing Plan	31
19 - Street Cross-Sections	34
20 - Bowlin Road and Collector Road Perspective	35
21 - FEMA Firm Map	36
22 - Global Water Company CC&N Map	37
23 - Napa Street Perspective	41
24 - Classics Street Perspective	42
25 - Sonoma Street Perspective	43

SECTION
1.0

EXECUTIVE SUMMARY



MARICOPA'S VISION

The Community of Maricopa is known as “a community with a heart” and a conscience for taking care of its people, its land, and all our resources. Maricopa offers educational excellence; is family-oriented with safe neighborhoods and many recreational and cultural opportunities. A strong business community is anchored by a diverse employment base that provides a balance between housing and jobs. Our City has a unique, small-town feel, reflective of its agricultural roots and western heritage.

Neely Estates is situated approximately one half mile north of Farrell Road and adjacent to the east side of White and Parker Road straddling both sides of Bowlin Road within a rapidly growing area of the City of Maricopa. The proposed General Plan for the City designates this site for medium density residential (3-6 du/ac) uses. Although agricultural land currently surrounds the community, neighboring communities such as Eagle Shadow, Rancho Mirage Estates, Sorrento, San Travasa and Desert Passage are all less than one mile away.

The purpose of this application is to request a zone change for approximately 278 gross acres for a medium density residential community and to request approval of the product architecture included as a supplement to this PAD book titled “Neely Estates Product Design Booklet” and the design standards included in Section 5. To accomplish this, Fulton Homes requests a zone change to a Planned Area Development (PAD) zoning. PAD zoning provides the necessary flexibility to design a community that will provide the City of Maricopa and future residents with a well planned development that emphasizes community.

Neely Estates is an exciting family-oriented residential community that will offer future residents of the City of Maricopa the opportunity to be part of a neighborhood unified by its artistically crafted community elements, landscape themes and abundant amenities. The elements of the community include an elementary school, a large community park, a centrally located aquatic center, basketball courts, tot lots and shade structures spread throughout neighborhood parks and multi-use turf areas. A master trail and paseo system with occasional rest nodes will offer outstanding connectivity for the Neely Estates residents.

Fulton Homes has adopted the following guiding principals and objectives as part of the vision for creating Neely Estates.

- Promote high-quality development consistent with the goals and policies of the City's General Plan and Design Guidelines
- Encourage residential development to provide a mixture of housing types and designs
- Strive for a high quality, family oriented community that promotes diversity in design and development

The Neely Estates residential architecture promotes diversity and provides flexibility by offering a variety of architectural styles, materials and color palettes as shown in Section 5: Appendix and the supplemental Residential Product Design Book attached to this PAD. In keeping with the character of the Community, the residential architecture will be of a high caliber that enhances the quality of life for residents and surrounding neighbors. Homes will vary in character and size to meet the needs of a broad range of homebuyers in this highly desirable area of Maricopa. The variety of housing styles provides a diversity of housing opportunities for future residents. In addition, Neely Estates will provide beautifully landscaped streetscapes, a community park, a centrally located aquatic center with bathroom facilities, a trail system that winds through the community and connects with the smaller neighborhood parks and basketball courts.

The open space and landscaped areas of Neely Estates have been designed to promote an open and welcoming feeling to residents. Open space corridors offer both passive and active recreational opportunities for all residents and their guests. The trail system creates a pedestrian friendly atmosphere, connecting neighborhoods with the community park, the Aquatic Center and the school. Entry monumentation at the main entrance to the Community will provide a common sense of place for residents.

Neely Estates straddles both sides of Bowlin Road, which is classified in the City of Maricopa Transportation Plan as an Arterial 1. The City envisions Bowlin Road with a future 140-foot street right of way with six lanes divided by a median. The internal minor collector road has been designed to decrease speed and provide a safer method of conveying traffic as it loops through the community. View corridors and view fences will be used where appropriate to create an open feeling within the community.

Fulton Homes has taken great care and consideration in the design and planning of Neely Estates, placing special emphasis in all areas of design to create a unique, family oriented community where residents feel a sense of place. This proposed plan for Neely Estates combines innovation with creativity, amenities and diversity that will establish Neely Estates as an attractive and desirable community within the City of Maricopa.

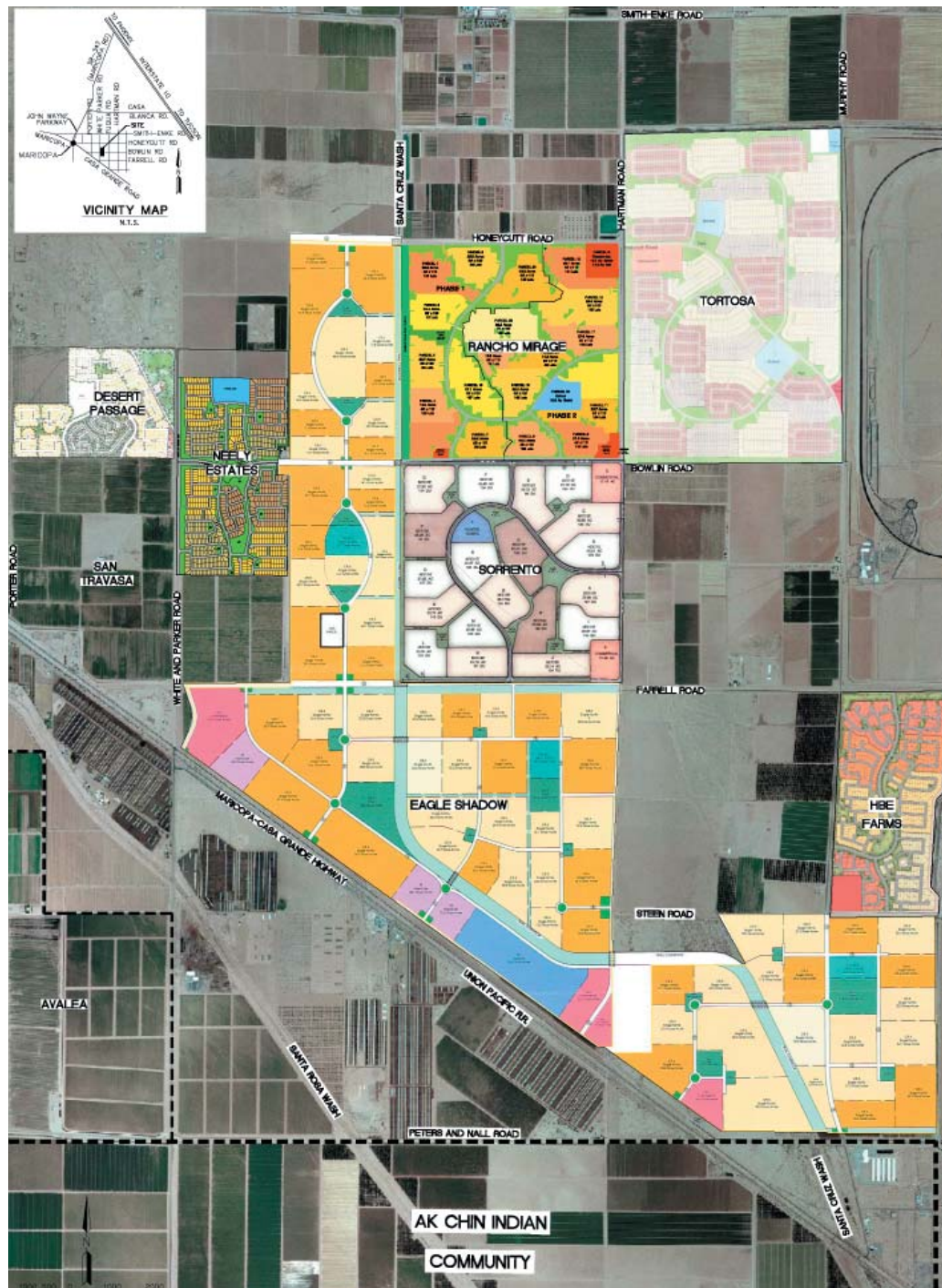


COBBLESTONE COMMUNITY IN MARICOPA BY FULTON HOMES

SECTION
2.0

EXISTING CONDITIONS





A. SITE LOCATION

In the last few years, the City of Maricopa has seen an incredible amount of growth because of its close proximity to the Phoenix metropolitan area as well as nearby Casa Grande. Neely Estates is located three miles east of the center of the City of Maricopa. The project lies within a portion of Sections 30 and 31, Township 4 South, Range 4 East. The project is bordered by White and Parker Road on the west. Bowlin Road extends east-west through the center of the project. The Maricopa-Casa Grande Highway and Maricopa Road (a northern link to Interstate 10) meet three miles west of Neely Estates and provide major links to both Phoenix and Tucson. Immediately adjacent to the east is the proposed Eagle Shadow master planned community followed by the Rancho Mirage Estates and Sorrento Communities. To the west of Neely Estates are the Desert Passage and San Travaso subdivisions. To the northwest are the Province Active Adult Community and Rancho El Dorado. To the southwest is the Avalea master planned community. A complete legal description of the project site is on the following two pages.

B. EXISTING INFRASTRUCTURE

There are two planned arterial roadways adjacent to the project site; White and Parker Road and Bowlin Road. White and Parker Road has recently been improved with half street improvements on the west side. The east side of White and Parker Road is currently a dirt road and remaining half street improvements on the east side of White and Parker Road will be completed with Neely Estates. There are existing overhead power lines along the east side of White and Parker Road along the property frontage. Bowlin Road is an existing farm field dirt road that provides access to the residential farm property approximately one-half mile east of White and Parker Road.



FIGURE 1: AREA MAP

**LEGAL DESCRIPTION
NEELY ESTATES - PHASE I**

Those portions of the Southwest quarter corner of Section 30 and the Northwest quarter of Section 31, each being in Township 4 South, Range 4 East of the Gila and Salt River Meridian, Maricopa/Pinal County, Arizona, more particularly described as follows:

BEGINNING at rebar with RLS tag 35235 attached found at the common westerly corner of said sections, from which a rebar found at the West quarter corner of said section 30 bears North 00°14'31" West 2697.62 feet;

Thence North 00°14'31" East along the west line of the aforementioned Southwest quarter 2,009.72 feet to the South line of North ½ of the North ½ of the Southwest quarter of said section 30;

Thence South 88°54'49" East along said line 2,625.58 feet to the east line of the Southwest quarter of said section 30;

Thence South 00°08'08" West along said line 1,591.94 feet;

Thence departing from said line North 89°12'52" West 227.01 feet to west line of the east 227.00 feet of Southwest quarter of section 30

Thence South 00°08'08" West 404.02 feet and parallel with the aforementioned east line to the common East–West section line for the aforementioned Sections 30 and 31;

Thence North 89°12'52" West along said line 49.01 feet to the west line of the east 276.01 feet of the Northwest quarter of said section 31;

Thence South 00°22'08" West along said line 276.01 feet;

Thence South 89°12'52" East, 276.01 feet to the west line of the aforementioned section 31;

Thence South 00°22'08" West along said line 176.17 feet;

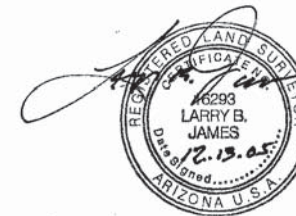
Thence North 89°46'36" West, 2,627.85 feet to west line of the Northwest quarter of said section 31;

Thence North 00°13'24" East 477.97 feet along said west line to the **POINT OF BEGINNING**;

The parcel described hereon contains a computed area of 6,316,254.19 square feet or 145.00 acres, more or less and is subject to any easements, restrictions or rights of way, of record or otherwise.

The description hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any other land division description.

Prepared by: CMX, L.L.C.
3100 West Ray Road, Suite 201
Chandler, AZ 85226
Project No. 7095
December 12, 2005



EXISTING CONDITIONS

LEGAL DESCRIPTION
NEELY ESTATES - PHASE II

That portion of the Northwest quarter of Section 31, Township 4 South, Range 4 East of the Gila and Salt River Meridian, Maricopa/Pinal County, Arizona, more particularly described as follows:

BEGINNING at rebar found at the West corner of said section, from which with a rebar with RLS tag 35235 attached, found at the West quarter corner of said section 30 bears North $00^{\circ}13'24''$ West 2697.62 feet;

Thence North $00^{\circ}13'24''$ East 2,204.10 feet along the west line of the aforementioned Northwest quarter of section 31;

Thence departing from said line South $89^{\circ}46'36''$ East along said line 2,627.85 feet to the east line of the Northwest quarter of said section 31;

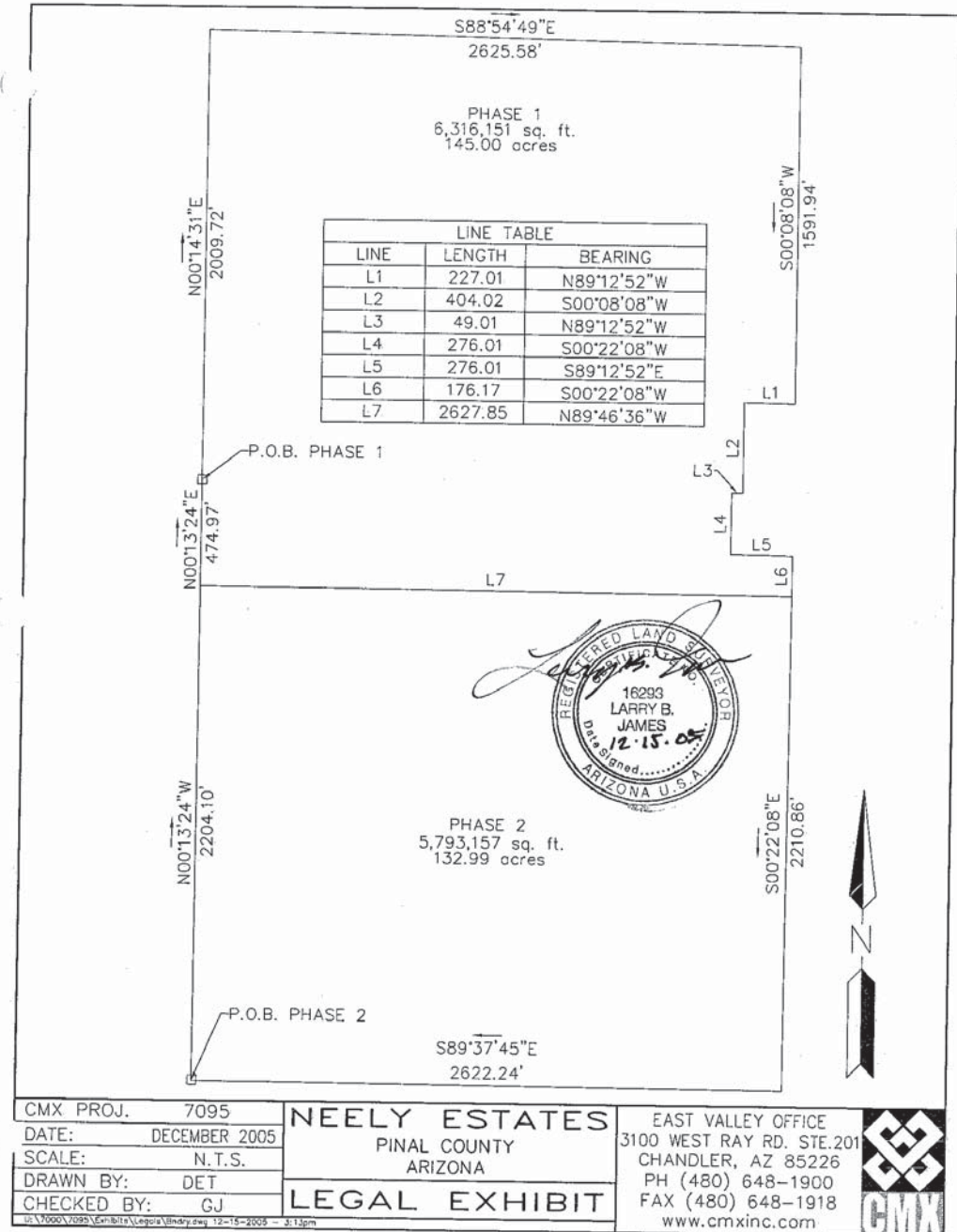
Thence South $00^{\circ}22'08''$ West along said line 2,210.86 feet to the calculated Southeast corner of the Northwest quarter of said section 31;

Thence North $89^{\circ}37'45''$ West along the south line of said Northwest quarter 2,622.24 fee to the **POINT OF BEGINNING**.

The parcel described hereon contains a computed area of 5,794,730 square feet or 133.0287 acres, more or less and is subject to any easements, restrictions or rights of way, of record or otherwise.

The description hereon is not to be uses to violate any subdivision regulation of the state, county and/or municipality or any other land division description.

Prepared by: CMX, L.L.C.
3100 West Ray Road, Suite 201
Chandler, AZ 85226
Project No. 7095
December 12, 2005



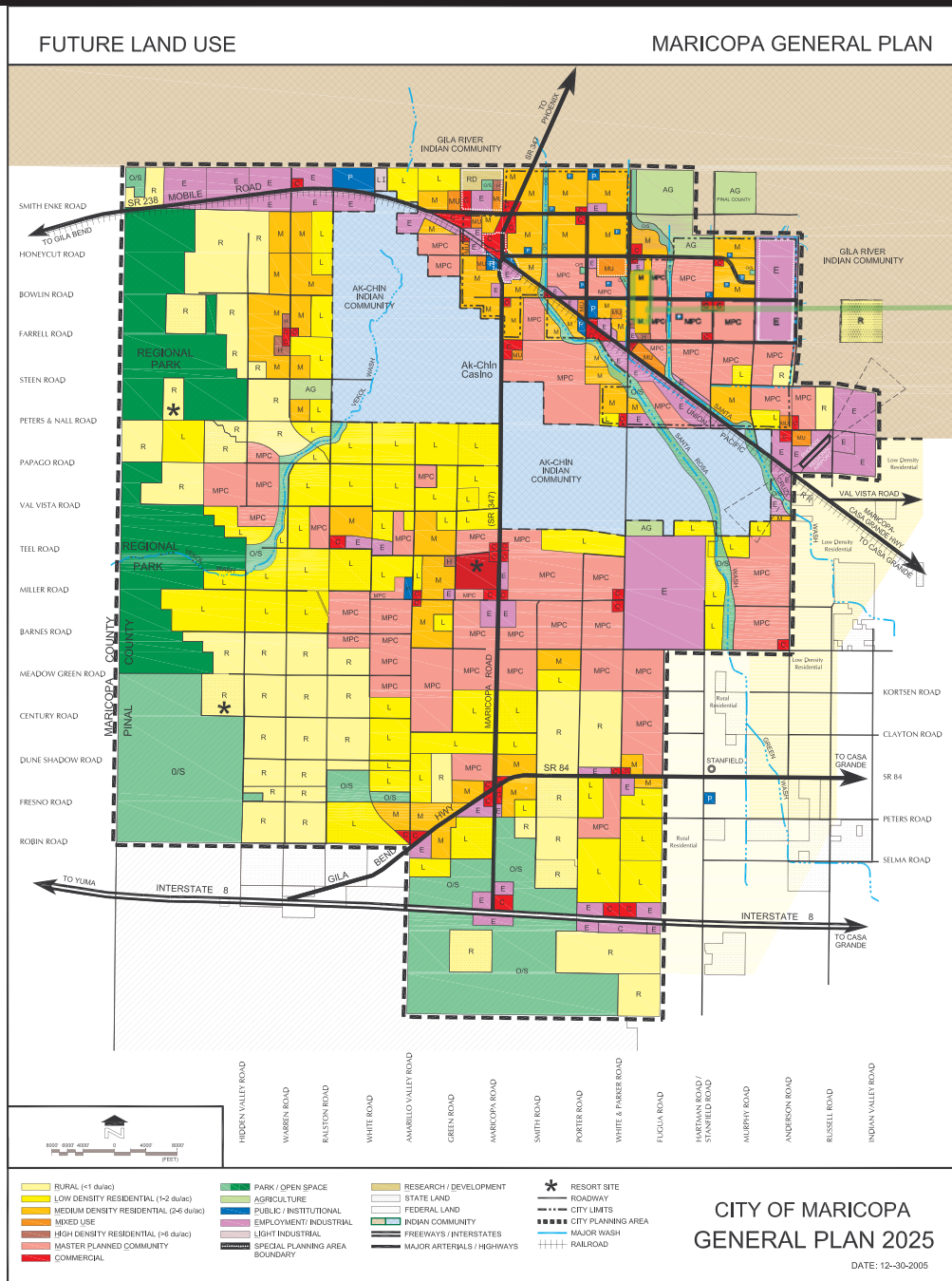


FIGURE 2: FUTURE LAND USE PLAN

C. EXISTING LAND USE, ZONING AND GENERAL PLAN

Currently the property is agricultural land with several irrigation ditches around the perimeter and through the site. The existing zoning is GR (General Rural). As shown on the Future Land Use Plan, Neely Estates is located within the Medium Density Residential land use category. This category is primarily for single-family residential uses with densities up to six dwelling units per acre. A General Plan Amendment will not be required to rezone this property.

SITE

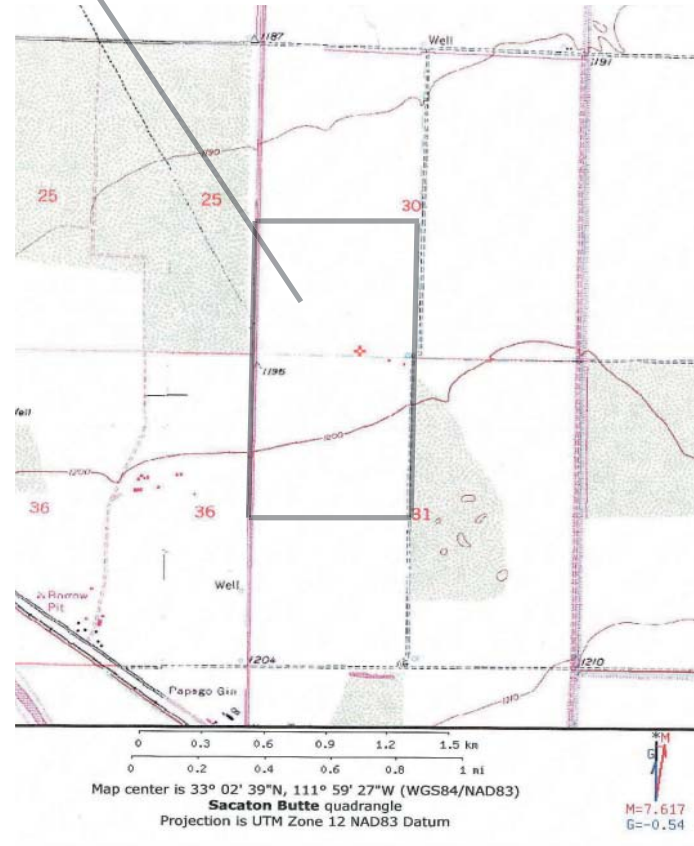


FIGURE 3: TOPO MAP

D. EXISTING TOPOGRAPHY AND DRAINAGE

The terrain of the property is fairly flat. The site slopes to the west at a slope of approximately 0.21% with no existing natural washes entering or leaving the site. There is a drainage channel located along the west side of the property running north-south along the east side of White and Parker Road. The channel flow originates from culverts under the Union Pacific Railroad track along the Casa Grande Highway. Flow from these culverts, Casa Grande Highway, and vacant land east of White and Parker Road south of the site contribute to this drainage channel.

SECTION
3.0

COMMUNITY DEVELOPMENT





FIGURE 4: TYPICAL FULTON ENTRY FEATURE
(CORTINA IN QUEEN CREEK)

A. COMMUNITY CHARACTER

Neely Estates will be composed of a mixture of residential housing styles along with active and passive amenity areas. Neely Estates is envisioned to be a distinct and desirable asset to the City of Maricopa by achieving a cohesive, quality design that will activate community life and have a positive impact not only for the project itself, but on the surrounding area as well. To create a well-planned development that supports the community goals, Neely Estates will focus on several defining elements to ensure overall design compatibility to the area. In particular, the following elements will be utilized to establish the Community's character.

- Maximize opportunities for exposure to community open spaces and amenities.
- Use of shape, colors, material selections, craftsmanship, and decorative details for building design and architectural themes.
- Thoughtfully planned to encourage pedestrian and non-motorized vehicular use while fully integrating the overall community.
- Beautifully landscaped areas planned with careful consideration to location, species, design and placement.
- Well thought out open space amenity areas using location, variety, and design concepts.
- Community signage and entry monumentation: location, design concepts, colors, and materials.
- Streetscape: including perimeter walls, view walls, and landscaping thoughtfully placed to maximize exposure of open space and common areas and to minimize impeding neighborhood integration.

Through these design elements, the character of Neely Estates will be integrated with the unique characteristics of the area, providing a high level of quality for architectural design as well as amenities for residents to enjoy.



TABLE 1: LAND USE TABLE

LAND USE	MIN. LOT SIZE (SF)	ACRES	LOT COUNT	% NET	% GROSS
CR-3 PAD	5,500	80.34	301	33.48%	28.90%
CR-3 PAD	7,200	89.75	304	37.40%	32.28%
CR-3 PAD	8,700	69.91	212	29.12%	25.15%
<i>NET TOTAL</i>	--	<i>240.00</i>	<i>817</i>	<i>100%</i>	--
SCHOOL SITE	--	11.61	--	--	4.18%
R/W	--	26.38	--	--	9.49%
GROSS TOTAL		278	817	100%	100%

TABLE 2: PARKS

MAP No.	DESCRIPTION	NET AREA (AC)
1	Neighborhood Park	1.75
2	Neighborhood Park	0.93
3	Neighborhood Park	0.64
4	Lakes/Greenbelt	5.69
5	Aquatic Center/Park	4.15
6	Neighborhood Park	0.64
7	Neighborhood Park	0.37
8	Neighborhood Park	0.57
9	Neighborhood Park	0.74
10	Neighborhood Park	0.55
11	Community Park	4.95
12	Neighborhood Park	1.27
13	Neighborhood Park	0.65
Total		22.91

FIGURE 5: CONCEPTUAL PARKS & TOT LOTS

COMMUNITY DEVELOPMENT



WHITE & PARKER ROAD

FIGURE 6: ILLUSTRATIVE MASTER PLAN



B. PROPOSED LAND USES

Throughout the Phoenix metropolitan area, Fulton Homes has planned their communities with a strong family and community theme that encourages an active lifestyle through the use of community and neighborhood open space areas connected by a trail system that winds through the individual neighborhoods. Neely Estates proposes to bring those same opportunities to the City of Maricopa. The land use plan for Neely Estates has incorporated a community park site, a centrally located Aquatic Center with bathroom facilities, a master trail system, neighborhood parks, basketball courts, and multi-use turf areas. Additionally, a 12 acre school site is located at the north end of Neely Estates. For Neely Estates, Fulton Homes proposes a combination of the residential land uses as shown on Table 3 with a maximum overall gross project density of 3.4 dwelling units per acre with 817 lots and over 22% open space in the community.

B.1 RESIDENTIAL LAND USES

Medium Low Density Residential (CR-3 PAD) – 8,700 s.f.
 Approximately 26% of the homes offered at Neely Estates are planned for single-family homes with a minimum lot size of 8,700 square feet and a minimum lot width of 70’ located throughout the community. The uses permitted in the CR-3 zoning district shall be consistent with Section 1101 of the Zoning Ordinance except as amended in this PAD. A summary of the development standards is in Table 3.

Medium Density Residential (CR-3 PAD) – 7,200 s.f.
 Approximately 37% of the homes offered at Neely Estates are planned for single-family homes with a minimum lot size of 7,200 square feet and a minimum lot width of 60’ located throughout the community. The uses permitted in the CR-3 zoning district shall be consistent with Section 1101 of the Zoning Ordinance except as amended in this PAD. A summary of the development standards is in Table 3.

Medium High Density Residential (CR-3 PAD) – 5,500 s.f.
 Approximately 37% of the homes offered at Neely Estates are planned for single-family homes with a minimum lot size of 5,500 square feet and a minimum lot width of 48’ located throughout the community. The uses permitted in the CR-3 zoning district shall be consistent with Section 1101 of the Zoning Ordinance except as amended in this PAD. A summary of the development standards is in Table 3.

Neely Estates will offer a variety of housing products for the three lot sizes shown in Table 3. The land plan has incorporated a 12-acre school site, community park, 52.00 acres of open space, and 240 acres for single-family residences. The overall net density for the project is 3.4 du/ac.

TABLE 3: LOT STANDARDS TABLE & COMPARISONS							
ZONING	MINIMUM LOT AREA		MINIMUM LOT WIDTH		MAXIMUM LOT COVERAGE	MINIMUM SETBACKS	
	CITY REQUIRED	PAD PROPOSED	CITY REQUIRED	PAD PROPOSED		CITY REQUIRED	PAD PROPOSED
CR-3 PAD	7,000 SF	8,700 SF	60'	70'	45%	Front: 20'	Front: 20' / 15'
						Rear: 25'	Rear: 20'
						Side: 8' + 8' = 16'	Side: 5' + 10' = 15'
CR-3 PAD	7,000 SF	7,200 SF	60'	60'	48%	Front: 20'	Front: 20' / 15'
						Rear: 25'	Rear: 20'
						Side: 8' + 8' = 16'	Side: 5' + 10' = 15'
CR-3 PAD	7,000 SF	5,500 SF	60'	48'	50%	Front: 20'	Front: 20' / 15'
						Rear: 25'	Rear: 20'
						Side: 8' + 8' = 16'	Side: 5' + 8' = 13'
NOTES:							
1. Front yard setbacks are measured from the back of sidewalk to the face of the garage door. Front setbacks will staggered by 2' every third house.							
2. Side-entry garage and/or optional garage bonus room, porches, and livable space, will have a minimum front yard setback of 15' measured from the back of sidewalk to the face of the structure.							
3. Fireplaces, entertainment centers, bay windows, architectural pop-outs, shadow boxes and pot shelves can encroach a maximum 2' (24 inches) in depth into the larger setback. Pop-outs are not permitted on the 5' side yard setback.							
4. Minimum distance between buildings will be 10'.							



.open space amenities



FIGURE 7: OPEN SPACE AMENITIES

NEELY ESTATES

Fulton Homes



B.2 RECREATION AND AMENITIES

Creating both passive and active open space and recreation areas is an integral part of the land planning for this community. Open space within Neely Estates makes up a total of 52 acres and 22% of the total net acreage. Included in the comprehensive open space plan for Neely Estates is a large community park and a centrally located Aquatic Center, recreational, and parking facilities. In addition, the comprehensive open space plan includes lakes, ten tot lots, thirteen ramadas & picnic areas, basketball courts (5-half courts & 2-full courts), multi-use turf areas for residents to gather with friends and family, and a master trail system.

The open space within Neely Estates has been designed to enhance the quality of life for the residents and provide opportunities for both passive and active recreational use. The community park, approximately five acres in size, is large enough to allow for family and community gatherings, offering ramadas with picnic benches, a basketball court, ball field, and a large multi-use turf area for active play. Two lakes, centrally located adjacent to the Aquatic Center near Bowlin Road are also incorporated into the land plan. An interconnected trail system will wind through the community, linking open space areas with each of the smaller neighborhoods and connect to the centrally located Aquatic Center and the community park.

B.3 AQUATIC CENTER

Included in the land plan for Neely Estates is an Aquatic Center, centrally located within the community. This Aquatic Center is just off of Bowlin Road and the collector loop road that winds through the community. In addition to the large community pool, the Aquatic Center will include bathroom facilities with changing rooms, a large ramada patio area with BBQ, sitting area with a trellis, two ramadas, a tot lot and parking facilities with a minimum of 20 parking spaces. Additional parking may be provided, if feasible, after site planning has been completed. The trail system within Neely Estates provides pedestrian connectivity from the individual neighborhoods, making this easily accessible to all residents. The Aquatic Center will be maintained by the Neely Estates HOA.

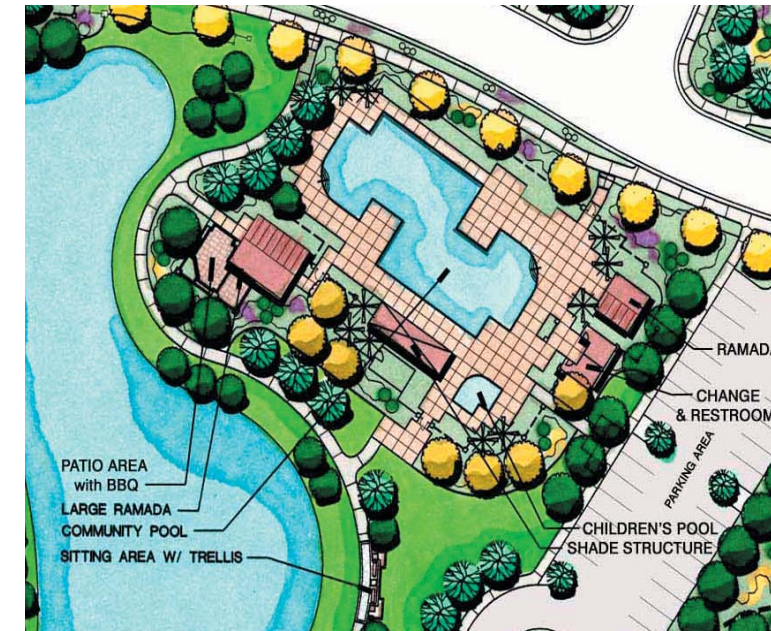


FIGURE 8: AQUATIC CENTER

TABLE 4: OPEN SPACE

GROSS AREA (AC)	R/W	SCHOOL (AC)	NET AREA ⁽¹⁾ (AC)	NET DENSITY	LOTS	PARKS AREA REQUIRED ⁽⁴⁾ (AC)	PARK AREA PROVIDED (AC)	TOTAL ⁽³⁾ OPEN SPACE REQUIRED ⁽²⁾ (AC)	TOTAL OPEN SPACE PROVIDED ⁽⁵⁾ (AC)	PERCENTAGE OPEN SPACE PROVIDED	RETENTION BASIN AREA REQUIRED ⁽⁶⁾ (AC)	TOTAL RETENTION PROVIDED ⁽⁶⁾ (AC)
278.00	26.38	11.61	240.00	3.4 du/ac	817	17.60	22.91	48.00	52.00	22%	13.31	16.19

NOTES:

1. Excludes ROW of adjacent arterial and collector streets and school site.
2. 20% open space required, based on ordinance 05-07.
3. Total area does not include school sites in open space calculations. Assumes the school site will be dedicated.
4. 7 acres per 325 lots, based on ordinance 05-07, as required.
5. Total open space provided to accommodate required parks area and retention basin requirements.
6. Required retention based on % of runoff for drainage areas. (See Section 6: Preliminary Drainage).



FIGURE 9: COMMUNITY & NEIGHBORHOOD PARKS

B.4 COMMUNITY PARK & TRAIL SYSTEM

The large community park, located at the south end of Neely Estates, includes a full soccer/baseball field, full basketball court, large ramada, picnic area, and tot lot. The community park is approximately 5 acres and will be maintained by the Neely Estates HOA. The paseo/walkway winds through this park area providing connection for neighborhoods within the community.

The large open space areas planned along the interior collector roads open up the community creating view corridors. These open space view corridors will be visible from local and collector roadways, utilizing view walls where appropriate to create unobstructed views into the community open spaces.

Neighborhood parks and greenbelts with tot lots, basketball, ramadas, benches, picnic tables, and lawn play area are located within walking distance throughout the community providing a park close to every home. In addition, these neighborhood parks are connected to the community park and Aquatic Center by the master trail system, providing safe access for children between neighborhoods and parks.

B.5 MASTER TRAIL SYSTEM

Neely Estates is being designed as a pedestrian friendly community with a master trail system making the community and neighborhoods safer for children and families. This trail system will wind through the community park and Aquatic Center, connecting sidewalks along the major roadways with a total of 4.4 miles of trails, as shown on the Conceptual Master Trail Plan (Figure 10), while providing a pedestrian access to the recreation areas and school

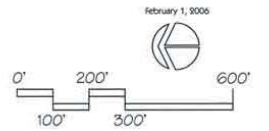
within the community. The trails will be 5' & 6' wide and constructed of concrete. Trellised sitting areas will be strategically placed at two locations in the lake area to provide shaded rest nodes. The master trail system will be maintained by the Neely Estates HOA.





.walkway legend

- 6' wide detached concrete WALKWAY ●
- 5' wide detached concrete WALKWAY ●



.master pedestrian circulation plan



FIGURE 10: CONCEPTUAL MASTER TRAIL SYSTEM

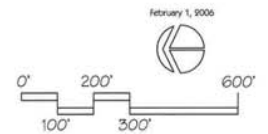
NEELY ESTATES

Fulton Homes



.landscape palette

BOTANICAL NAME	COMMON NAME
ACACIA SMALLI MULTI-TRUNK NOTE: UPRIGHT, NON-WEeping FORM	SWEET ACACIA
DALBERGIA SISSOO	SISSOO TREE
PINUS EL-DARICA	MONDELL PINE
PITHECELOBIUM FLEXICAULE	TEXAS EBONY
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
ULMUS PARVIFOLIA 'SEMPERVIRENS'	EVERGREEN ELM
PHOENIX DACTYLIFERA	DATE PALM
BOUGAINVILLEA SPC. 'BARBARA KARST'	BARBARA KARST BOUG.
BOUGAINVILLEA SPC. 'CRIMSON JEWEL'	BUSH BOUGAINVILLEA
CAESALPINIA FULCHERRIMA	RED BIRD OF PARADISE
CASSIA NEMOPHILA	DESERT CASSIA
HESPERALOE PARVIFLORA	RED YUCCA
LEUCOPHYLLUM FRUTESCENS	GREEN CLOUD SAGE
LEUCOPHYLLUM LANGMANIAE	LYNN'S LEGACY
NERIUM OLEANDER 'PETITE PINK'	DWARF PINK OLEANDER
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM
ACACIA REDOLENS 'DESERT CARPET'	DESERT CARPET ACACIA
CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN
MUHLBERGIA RIGENS	DEER GRASS
CONVOLVULUS CNEORUM	BUSH MORNING GLORY
LANTANA 'NEW GOLD'	NEW GOLD LANTANA
LANTANA MONTEVIDENSIS	WHITE LIGHTNIN'
Cynodon Dactylon "Midiron"	Midiron Bermudagrass
Decomposed Granite In All Plant Beds	Spanish Red



.master landscape plan



FIGURE 11: CONCEPTUAL MASTER LANDSCAPE PLAN

NEELY ESTATES

Fulton Homes

City of Maricopa, Arizona



B.6 LANDSCAPING

Successful community and neighborhood design is dependent on site planning, architecture, engineering, and the landscape design being unified. The open space system and landscape concept for Neely Estates seeks to enhance community connectivity while being responsive to the environment. The open space system and landscape design becomes an integral component in unifying the Community.

The philosophy behind the Neely Estates open space and landscape theme is to promote an open and welcoming feeling to residents and their guests. The community design and landscape concept has been crafted with a careful attention to design and lifestyle of its future residents. Trees are planted in a linear fashion along the arterial and collector roadways. Open spaces will be accented and broken up by groupings of shrub masses. Multi-turf areas throughout the community provide large areas for both active and passive recreation.

COMMUNITY TREES

Sweet Acacia are the major streetscape trees utilized at Neely Estates. Various other native desert trees and also various other types of trees have been selected for their form, size, color and leaf size. Other varieties include Sissoo Tree, Mondell Pine, Texas Ebony, Southern Live Oak, Evergreen Elm, and Date Palm.

COLOR PLANTING

All trees, shrubs, vines and groundcover plants have been selected for their inherent flower and leaf color. Among some of the more colorful plantings included are Bougainvillea, Red Bird of Paradise, Green Cloud Sage, Pink Oleander, and Gold Lantana. Colorful groupings at entry monuments create a sense of belonging upon arrival within the community.

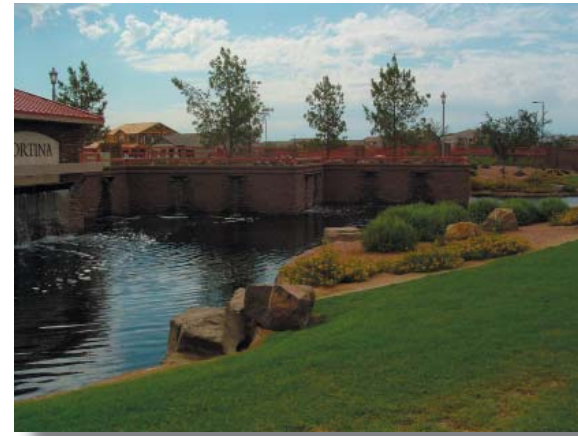


FIGURE 12: TYPICAL FULTON AMENITY AND LANDSCAPING



.site architecture



FIGURE 13: SITE ARCHITECTURE

NEELY ESTATES

Fulton Homes



B.7 WALLS, VIEW FENCES AND MONUMENTATION

Theme walls, view walls, and rail fence will be utilized in Neely Estates. Theme walls act as a barrier within the residential areas and to minimize light and noise pollution from vehicles. Proposed theme walls will stagger or meander as appropriate, providing visual movement and interest, with columns spaced along arterial streets to provide relief from long straight walls. Theme walls along arterial streets will be six feet built on a two foot berm providing a total of eight feet in height to screen arterial street traffic from the homes that front the arterial streets. Theme walls will also contain an adequate number of breaks for pedestrian connections. View walls are encouraged where appropriate, especially at lots backing open space and common areas. Both the conceptual theme walls and view fences are six-foot in height with concrete masonry block with buttressed columns that may be accented with stone veneer or decorative caps. Decorative columns will be carried throughout the entire length of the theme walls along the arterial streets. The view walls have two foot tall panels of wrought iron between the columns above four feet of masonry to provide views into the community while preserving the privacy of the residents.

Open space corridors act as windows into a community. The entryways represent the doorways that first welcome residents and their guests. Because entryways establish the initial impression of the community, emphasis is placed on the residential gateway into Neely Estates. The primary entrance to the community is from Bowlin Road. Enhanced landscaping and monumentation at the entryway will welcome residents and provide a sense of neighborhood arrival.

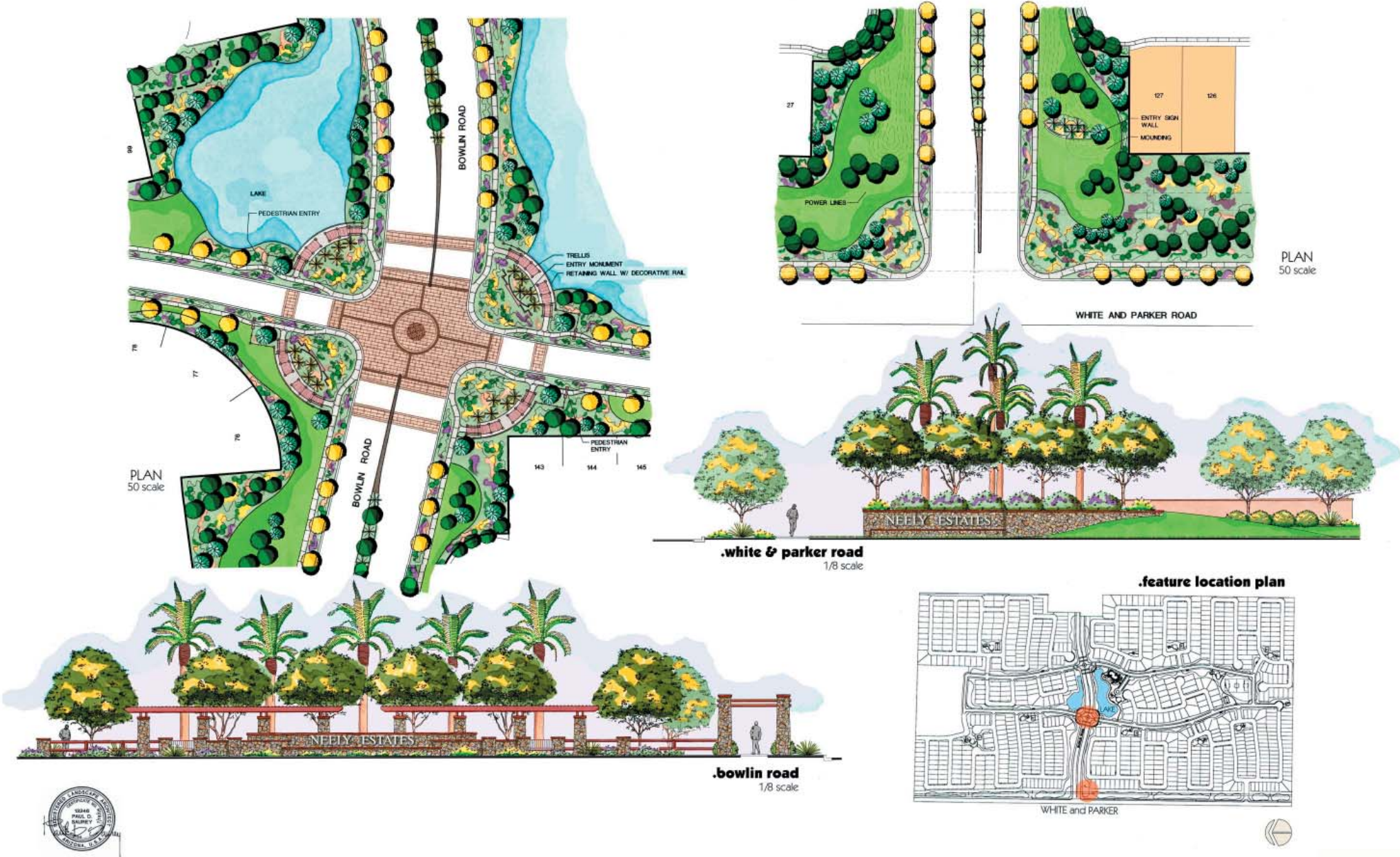
Monumentation from Bowlin Road and White and Parker Road includes an entry sign wall with stone veneer and lush landscaping. Entry monumentation from Bowlin Road and the internal collector road include a trellis and wall with decorative rail fence and stone veneer. Palm trees and colorful landscaping, along with decorative pavers at the intersection, create a remarkable gateway into Neely Estates.



FIGURE 14: SIX FOOT THEME WALL ON BERM



FIGURE 15: TYPICAL FULTON ENTRY MONUMENTATION



.gateways



FIGURE 16: CONCEPTUAL GATEWAYS

NEELY ESTATES

Fulton Homes



C. SUBDIVISION DIVERSITY ELEMENTS

Neely Estates will be developed with a variety of diversity elements that will create a unique community for the City of Maricopa.

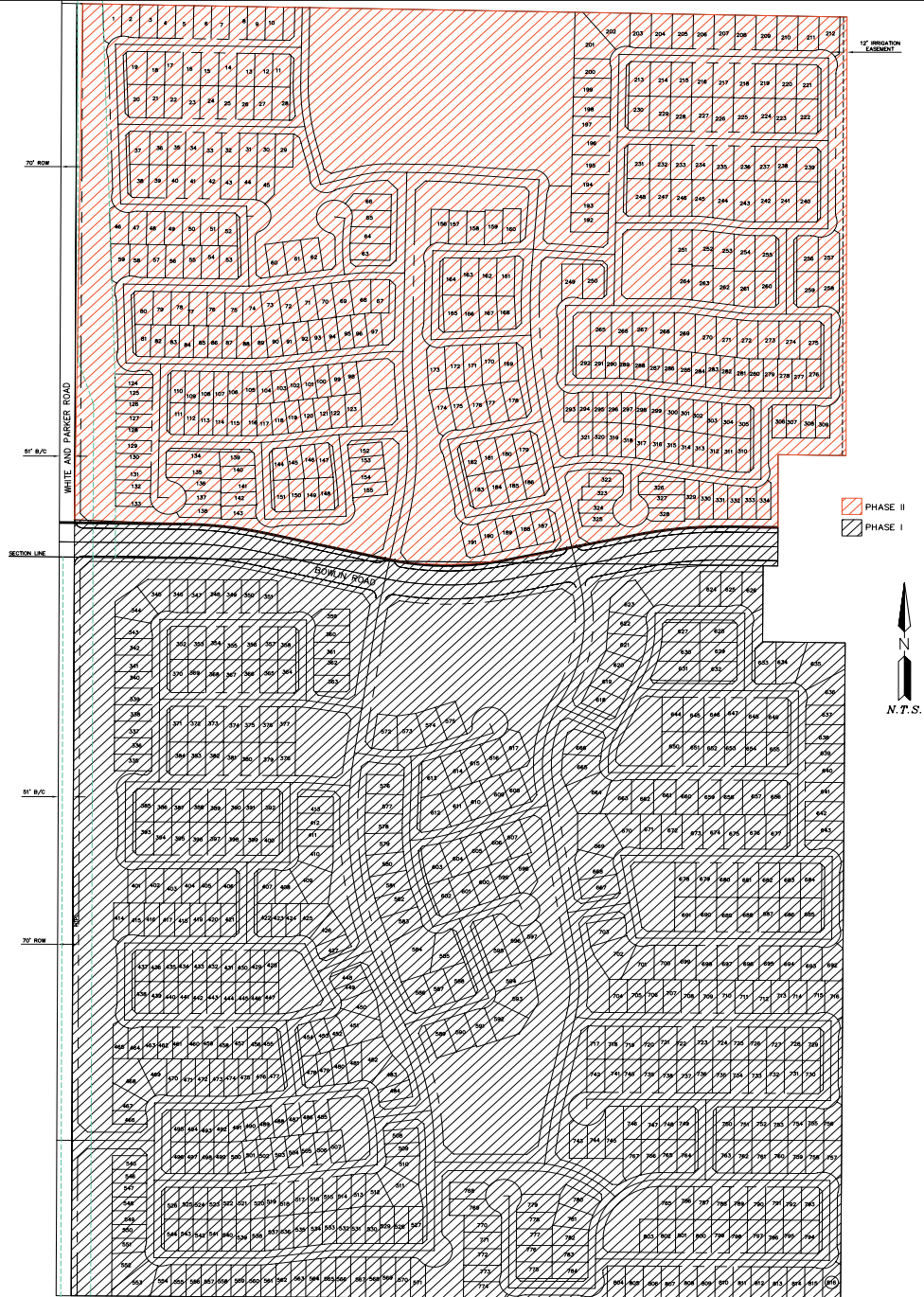
- Creative entry features that will provide the community with a distinctive character assuring a sense of pride for the residents will be constructed at the community entrance from Bowlin Road. Special landscaping, planter walls and entry-street with a landscaped median will be used to help create the “sense of neighborhood arrival”.
- Neely Estates provides a suburban estate theme consistently throughout the community. Examples of theming features include specialized stone and block theme walls, consistent plant palette, distinct color palette, water features and amenity open space with tot lots and ramadas, etc.
- Neely Estates is providing meandering, or irregular, retention areas that are located throughout the community with a maximum 4:1 side slopes.
- Open space within Neely Estates has been planned to provide convenient pedestrian access to the proposed amenities from all areas of the development. Open space areas throughout the community will include neighborhood parks with tot lot play structures, ramadas with benches and basketball courts.
- Neely Estates provides a minimum twenty (20 ft.) landscaped parkway along Bowlin Road to be maintained by the Homeowners Association.
- The project theme wall has been designed with an attractive and diverse blend of landscaping, staggered perimeter walls, and entry features. The perimeter wall has been designed with frequent horizontal staggers or breaks to provide linear relief along White and Parker Road.
- Neely Estates incorporates a curvilinear street system including numerous street bends with focal points from the road including views of the passive recreation areas, water feature, and greenbelt system. Extensive tree and shrub planting will also accentuate the aesthetics of this road.
- The site layout contains cul-de-sacs and numerous knuckles to create a diverse street circulation system and provide pedestrian access to the lush landscape open space areas.
- Neely Estates provides view walls in numerous locations along arterial and collector streets that provides views into subdivisions and creates relief from solid walls. View walls are desirable along open spaces, but not along common residential property lines.
- Corner lots will include a eight (8) foot wide landscape tract on the street side of the lot.
- A mix of garage orientations will be utilized in the Neely Estates product; tandem, front facing, split and side loaded are included in several floor plans.
- Neely Estates will have landscaped open spaces that are visible from arterial street and residential street view with maximum 4:1 side slopes along street frontages.
- A minimum twenty (20) foot landscaped parkway is provided along arterial streets measured from the right-of-way line to the fence.
- Solar orientation is an important consideration in the development of Neely Estates. A majority of the lots within this community are facing north-south, minimizing the effects of the late afternoon sun.
- Street lighting will be provided at intersections and long blocks. The lighting fixtures will provide adequate visibility for security and safety and will incorporate shields or hoods to focus and direct, as much light as possible, down on the streets, walkways, and landscaping.

- Building lighting will be directed away from adjacent lots, common areas, and neighboring properties.
- No two-story homes shall be placed on corner lots.

These elements, as established for Neely Estates, ensure diversity and enhance the overall community.



FIGURE 17: ENTRY SIGN WALL AT WHITE & PARKER ROAD



D. TIMING OF DEVELOPMENT

The development of Neely Estates will move forward immediately upon review and approval of the project construction plans and plats. It is anticipated that Neely Estates will be developed in two phases. The school site will be developed as needed by the school district separately from the residential portion of the project.

Phase I will include improvements to Bowlin Road, the internal collector road and development of Neely Estates south of Bowlin Road. Phase II will include improvements north of Bowlin Road. Phase I construction will commence as soon as approval has been obtained from City of Maricopa with the remaining Phases following Phase I and continuing over the next 4 to 6 years.



FIGURE 18: PHASING PLAN

SECTION
4.0

INFRASTRUCTURE



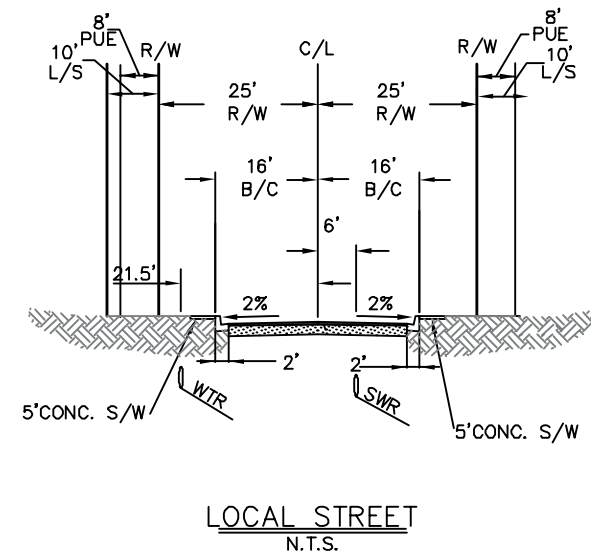
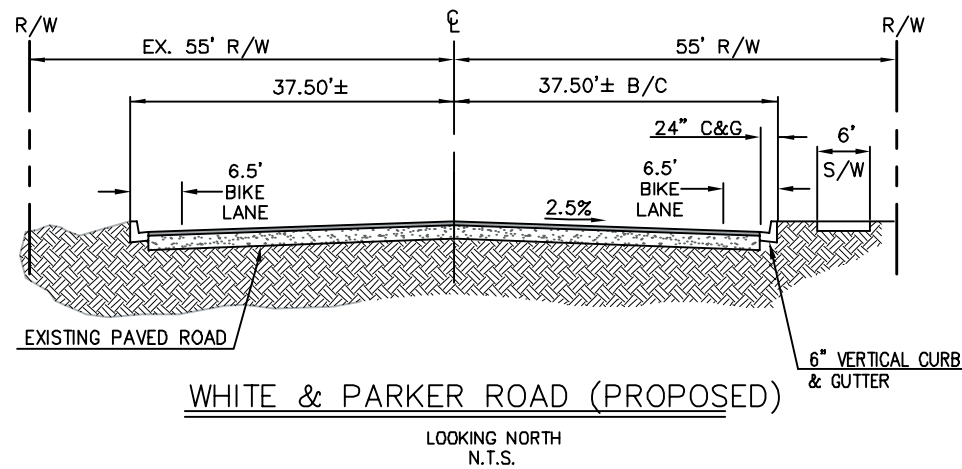
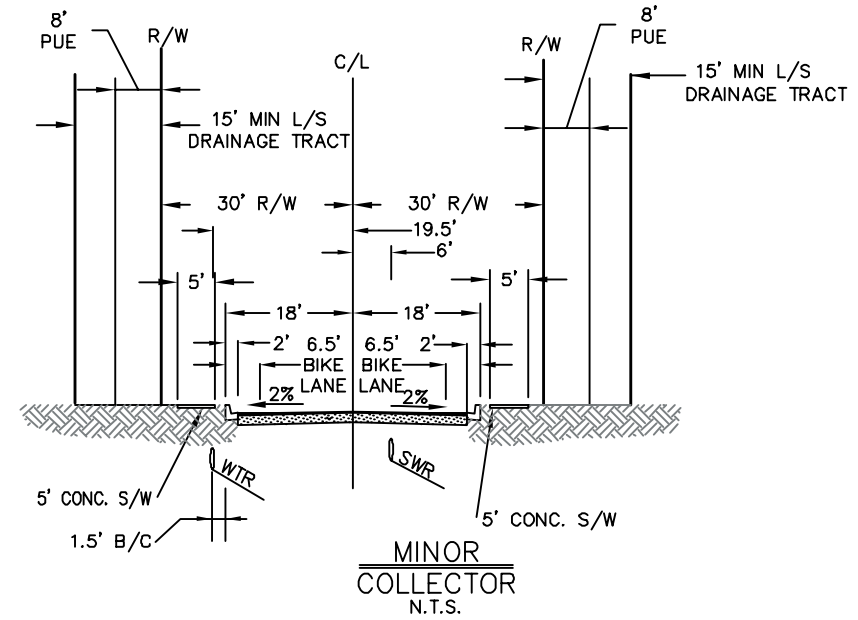
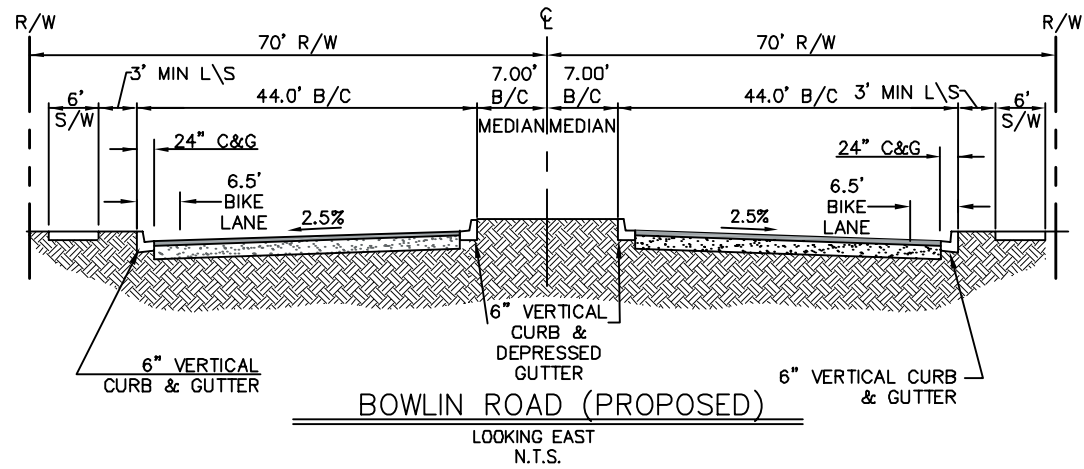


FIGURE 19: STREET CROSS SECTIONS

A. CIRCULATION

Neely Estates is bounded by White and Parker Road along the west boundary of the site. White and Parker Road will be designated as a Principal Arterial 1 with a future 55-foot half street right-of-way. Full half street improvements for White & Parker Road on the east side adjacent to the project site include two lanes of pavement, curb and gutter, a 6' detached sidewalk, 6.5' bike lane, utilities and landscaping. Bowlin Road, which bisects the project, is designated as a Principal Arterial 1 with a future 140-foot full street right-of-way. Improvements include three lanes of pavement, curb and gutter, a 6' detached sidewalk, a 6.6' bike lane, raised median, utilities and landscaping.

The internal minor collector roads will be public streets with a 60-foot right-of-way and meandering sidewalks on each side. These collector streets are designed to decrease speed and provide a safer method of conveying traffic through the community. The internal local roads within Neely Estates will be public streets, designed with 32' back of curb to back of curb and 5' attached sidewalks on both sides of the street. Cul-de-sacs, knuckles and curvilinear streets for internal local residential streets will be designed to effectively convey local traffic through the neighborhoods while maximizing safety and the aesthetics of open space features.

Connectivity to the Eagle Shadow development to the east will be from Bowlin Road. Currently, land to the north and south of Neely Estates is farmland; however, if this property should be developed at a later date there is the option for connectivity to the north by the street adjacent to the school site and to the south from the small park area or local street across from the community park.

The main entrance to Neely Estates is from Bowlin Road. Entry monumentation, lakes and a colorful landscape palette will be used to create a sense of neighborhood arrival upon entering the community.

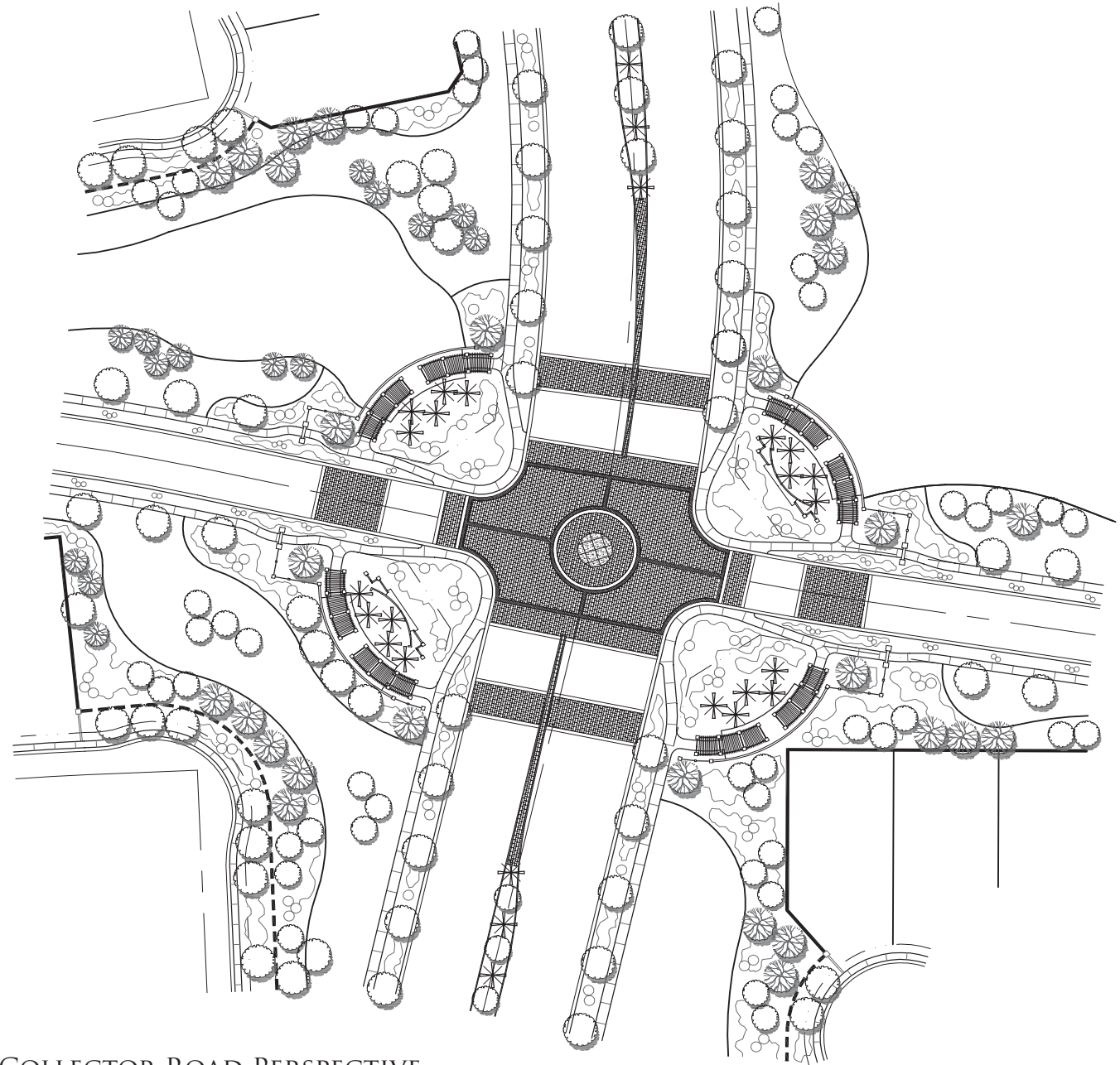
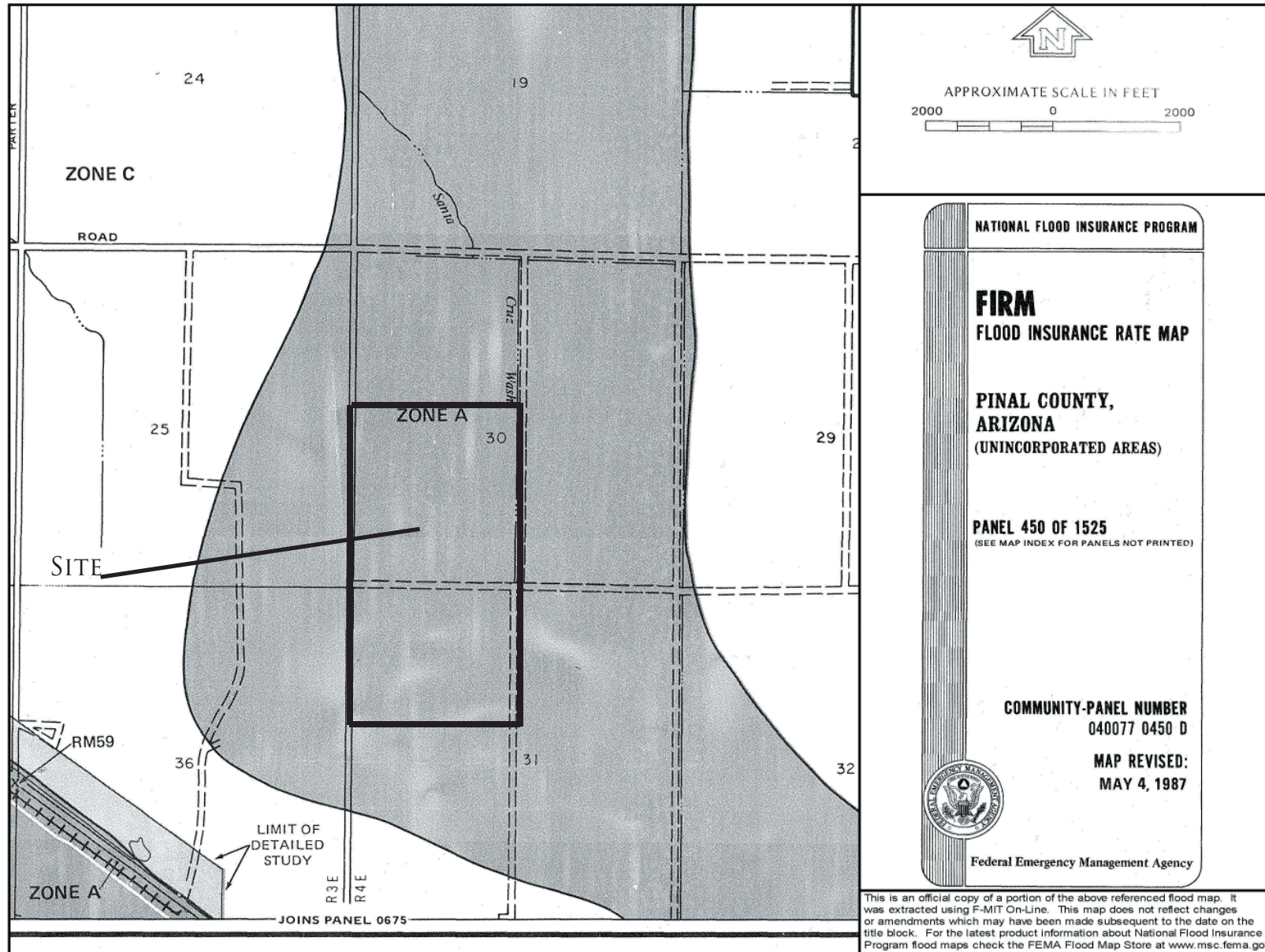


FIGURE 20: BOWLIN ROAD AND COLLECTOR ROAD PERSPECTIVE



B. TOPOGRAPHY AND DRAINAGE

The existing topography of Neely Estates is relatively flat farmland that drains to the north and west. The property is presently agricultural farmland and is irrigated by canals throughout the site. Historic flows from the south are directed to the Santa Cruz Wash located one-half mile east of the project site.

Neely Estates lies within Zone a as shown on the Flood Insurance Rate Map 040077 0450D dated August 15, 1983. FEMA Zone A is classified as a special flood hazard area inundated by 100-year flood. Because this project is entirely within the flood plain a CLOMR (Conditional Letter of Map Revision) will need to be obtained from FEMA to remove the entire site from the flood plain. The Santa Cruz Wash is approximately one-half mile to the east. Currently a group of area developers are working with the City toward obtaining a regional drainage solution and 404 permit through the Army Corps of Engineers to channelize this wash which will allow for the processing of a flood plain map revision.

C. PUBLIC UTILITIES AND SERVICES

Utilities and services will be provided for Neely Estates as shown below:

Water & Sewer: This project is located within the existing CC&N area for Global Utilities; Santa Cruz Water Company and Palo Verde Utility Company. Global Utilities is a designated water provider an assured water supply certificate. A “will serve” letter will be obtained from Global Utilities and provided to the City of Maricopa.

Gas: Southwest Gas

Electrical Service: Electrical District 3 (ED3)

Telephone: Qwest Communications

Cable TV: Orbital Communications

Irrigation: Neely Estates is located within the Maricopa Stanfield Irrigation and Drainage District

Schools: Neely Estates is located within the City of Maricopa School District. Neely Estates has set aside 12 acres for a school site to ensure that the increased demands on school enrollment can be met.

D. MAINTENANCE OF STREETS AND COMMON AREAS

Arterial roadways will be built as established in accordance with this PAD and the City of Maricopa standards with public roadways being maintained by the City once accepted by the City of Maricopa. All streets within Neely Estates will be public streets, constructed in accordance with City of Maricopa standards and maintained by the City of Maricopa after completion and final acceptance by the City.

Covenants, Conditions and Restrictions (CC & R’s) will provide for the formation of a Homeowner’s Association. Open space common areas within Neely Estates will be maintained by the Neely Estates Homeowners Association.

Santa Cruz Water Company and Palo Verde Utilities Company
Water and Wastewater CC&N with 387 Water and Wastewater Improvement
District Acquisition Area filed with the Arizona Corporation Commission June 2005

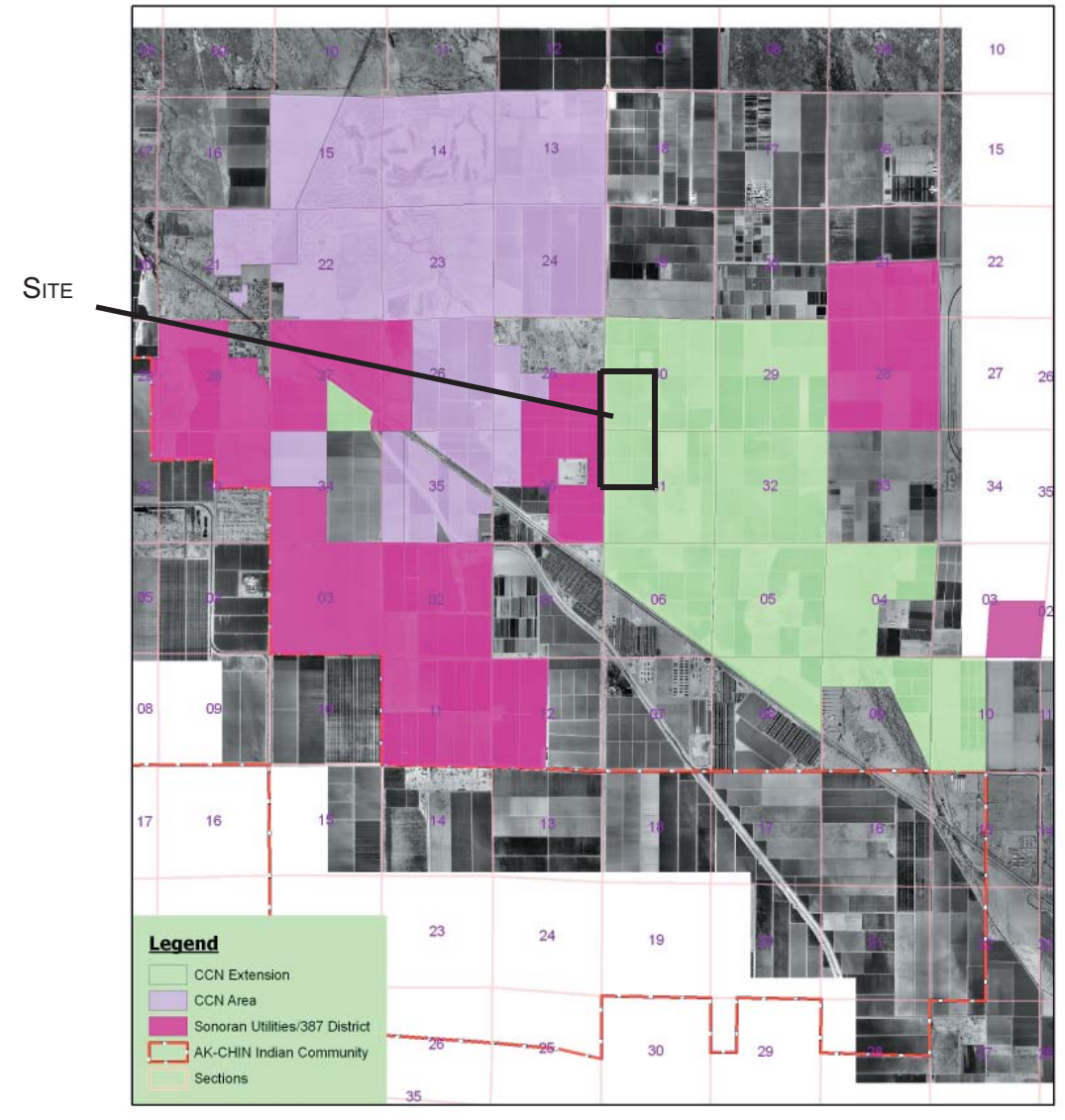


FIGURE 22: GLOBAL CC&N MAP

SECTION
5.0

ARCHITECTURAL DESIGN





COMMUNITY ENTRY FEATURES PROMOTE A SENSE OF PLACE

A. COMMUNITY DESIGN ELEMENTS

Fulton Homes has a strong reputation throughout the Phoenix metropolitan area for the great care given to the planning of their community design elements such as theming, entry monumentation, landscape palette, and a master wall plan that combines both theme and view walls around the community. With Neely Estates, Fulton Homes has given this same care to the community design in an effort to increase diversity and create custom-like neighborhoods that incorporate open spaces, recreational amenities, visual cohesiveness of landscape and diverse architectural elements. To create a well-planned development that supports the community goals for a more sustainable and livable community, Neely Estates will focus on the following elements to ensure overall design compatibility to the area.

- Land uses: land uses that are compatible with the proposed City of Maricopa General Plan.
- Residential neighborhood design: maximize opportunities for exposure to community open spaces and amenities.
- Open space amenities: location, variety and design concepts.
- Path and trail system: thoughtfully planned to encourage pedestrian and non-motorized vehicular use while fully integrating the overall community.
- Landscaped areas: location, species, design and placement. All open space areas within Neely Estates will be landscaped incorporating a mix of turf, trees, shrubs and groundcover.
- Neighborhood design: maximize opportunities for exposure to community open spaces and amenities.
- Community signage and entry monumentation: location, design concepts, colors, materials.
- Distinctive entry monument features and colorful accent landscaping at the entrances to the community provide a sense of neighborhood arrival.
- Streetscape: including perimeter walls, view fences, and landscaping thoughtfully placed to maximize exposure of open space and common areas and to minimize impeding neighborhood integration. Theme walls have been designed to be placed along arterial and collector streets, breaking up the typical long sections of walls. View fences will be provided in areas adjacent to open space whenever appropriate creating unobstructed view corridors from residential areas, arterial roadways, and at the ends of cul-de-sacs.

Through these design elements, Neely Estates will provide a high level of quality for architectural design as well as amenities for residents to enjoy.

B. ARCHITECTURAL DESIGN GUIDELINES

The intent of the Neely Estates residential architecture is to promote diversity and provide flexibility by offering a variety of architectural styles, materials, and color palettes. In keeping with the character of the Community, the residential architecture will be of a high caliber that enhances the quality of life for residents and surrounding neighbors. Fulton Homes has given great time and consideration to the plans and elevations that they will build at Neely Estates. With features such as cultured stone, shutters, wrought iron accents, hipped and gabled dormers and refreshing paint and roof colors for all elevations, neighborhoods maintain a remarkable and diverse street scene.

All lots will be pre-determined with elevations to ensure the same elevation will not be built on adjacent lots, or lots located directly across the street. In addition, each series of homes offered has six floor plans with four distinctive elevations each, two roof tile selections and four paint color schemes to each elevation. This provides a total of 16 paint and 8 roof tile combinations, providing a significant amount of diversity in the streetscapes.

A variety of garage configurations including swing-in garages, tandem garages, recessed garages, and split garages, have been designed into the product lines. The alternative garage positions will allow the opportunity to create a unique street scene promoting interaction among residents in the Neely Estates community.

In Neely Estates, Fulton Homes has created a visually diverse product line that enhances the surrounding area. This unique combination of creativity, amenity and diversity will create an attractive and desirable neighborhood that will maintain a high standard of development for the City of Maricopa.



Neely Estates

FIGURE 23: NAPA STREET PERSPECTIVE

Neely Estates will offer three product lines; Napa, Classic, and Sonoma. The complete set of each of the three series can be found in Section 6: Appendix.

NAPA

The “Napa” series product line will offer six floor plans with four distinctive elevations per plan. Three plans are single story homes ranging in size from 1622 to 1875 sq ft and three plans are two-story homes ranging in size from 2367 to 2828 sq ft. The buyers may select from a color board consisting of two roof tile selections and four paint color schemes unique to each elevation, for a total of sixteen paint and eight roof tile combinations, which will create diversity throughout the community. Fulton Homes pre-determines which elevation goes on which lot so the same elevation will not be built on adjacent lots, or directly across the street.

In addition to the variety of paint combinations, a diverse palette of exterior materials, including stone, plantation shutters and decorative stucco are used to create additional product dimension. Multiple roof forms including front-to-back and side-to-side roof framing, full gables, clipped gables and hip roofs are all used to avoid the “sameness” look of traditional tract housing.

All plans include integral covered patios. Two plans include a side courtyard. Two plans incorporate a tandem three-car garage. Three plans include covered front porches. Five of the six plans have the garage recessed behind the porch or living space. With covered front porches, courtyards, recessed garages along with pre-determining elevations by lot, Fulton Homes is confident that each neighborhood will maintain a remarkable street scene.

Architectural features such as shadow boxes, pot-shelves, and pop-outs around windows unique to each elevation, and other distinctive details, help provide four-sided architecture. The significant attention to quality and diversity that has been incorporated into these architectural details will provide for a unique and aesthetically pleasing neighborhood.

CLASSICS

The “Classics” series product line will offer six floor plans with four distinctive elevations per plan. Three plans are single story homes with optional basements ranging in size from 2467 to 4123 sq ft and three plans are two-story homes ranging in size from 3698 to 4350 sq ft. . The buyers may select from a color board consisting of two roof tile selections and four paint color schemes unique to each elevation, for a total of sixteen paint and eight roof tile combinations, which will create diversity throughout the community. Fulton Homes pre-determines which elevation goes on which lot so the same elevation will not be built on adjacent lots, or directly across the street.

In addition to the variety of paint combinations, a diverse palette of exterior materials, including stone, brick, iron, and decorative stucco are used to create additional product dimension. Multiple roof forms including front-to-back and side-to-side roof framing, full gables, clipped gables and hip roofs are all used to avoid the “sameness” look of traditional tract housing.

All plans include integral covered patios. Three plans include split garage configurations, where the single car bay may be converted into living space. One plan features a three car forward facing garage and two plans incorporate a tandem four-car garage. An optional single-car garage bay, recessed from the face of the two-car garage, may be offered to accommodate the desire of our homebuyers where lot sizes and setbacks will allow. Four plans include oversized covered front porches. With the diverse garage orientations, large covered front porches, along with pre-determining elevations by lot, Fulton Homes is confident that the neighborhood will maintain a remarkable street scene.

Architectural features such as shadow boxes, pot-shelves and pop-outs around windows unique to each elevation, and other distinctive details, help provide four-sided architecture. The significant attention to quality and diversity that has been incorporated into these architectural details will provide for a unique and aesthetically pleasing neighborhood.



SECOND FLOOR



FIRST FLOOR



FIGURE 24: CLASSICS STREET PERSPECTIVE



SONOMA

The “Sonoma” series product line will offer six floor plans with four distinctive elevations per plan. Three plans are single story homes ranging in size from 2057 to 2300 sq ft and three plans are two-story homes ranging in size from 2878 to 3740 sq ft. The buyers may select from a color board consisting of two roof tile selections and four paint color schemes unique to each elevation, for a total of sixteen paint and eight roof tile combinations, which will create diversity throughout the community. Fulton Homes pre-determines which elevation goes on which lot so the same elevation will not be built on adjacent lots, or directly across the street.

In addition to the variety of paint combinations, a diverse palette of exterior materials, including stone, brick, plantation shutters and decorative stucco are used to create additional product dimension. Multiple roof forms including front-to-back and side-to-side roof framing, full gables, clipped gables and hip roofs are all used to avoid the “sameness” look of traditional tract housing.

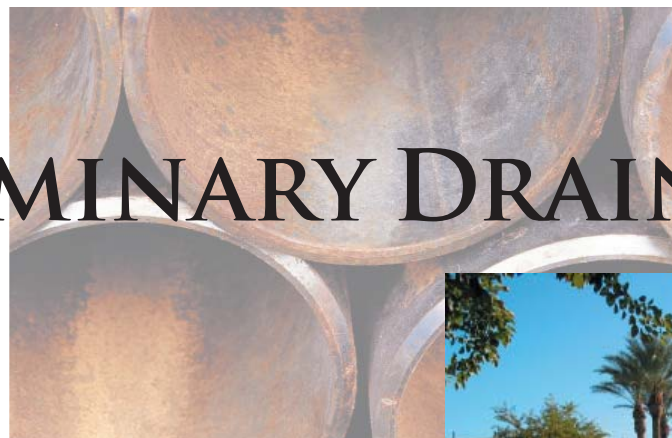
All plans include integral covered patios. Two plans include split garage configurations, where the single car bay may be converted into living space. One plan features a three car forward facing garage and three plans incorporate a tandem three-car garage. Three plans include over-sized covered front porches. With the diverse garage orientations, large covered front porches, along with pre-determining elevations by lot, we are confident that our neighborhood will maintain a remarkable street scene.

Architectural features such as shadow boxes, pot-shelves and pop-outs around windows unique to each elevation, and other distinctive details, help provide four-sided architecture. The significant attention to quality and diversity that has been incorporated into these architectural details will provide for a unique and aesthetically pleasing neighborhood.



SECTION 6.0

PRELIMINARY DRAINAGE



A. RETENTION BASINS

The storm water runoff will be directed to the retention basins via scuppers and catch basins. The retention basins will be designed to accommodate the minimum storm runoff volume. There is enough open space for retention basins to provide the required retention volume on the site. The channel along White and Parker Road might be utilized for drainage due to the lack of open space for retention purposes in the west side of the property. The storm water runoff directed into the channel will not increase its peak flow for the 100-year event.

One drywell shall be provided for each acre-foot of retention required for every basin over one foot in depth. If percolation test results indicate the storm water will infiltrate naturally in 36 hours, drywells will not be necessary.

**Neely Estates
Retention Basin Area**

Ref: Pinal County Drainage Design
City of Maricopa Drainage Design Review Checklist

C-Value Type Land Use	Gross Land Use		
	10-yr	100-yr	Percentage
Single Family (817 lots)	0.48	0.63	51%
Parks/Open Space/Golf	0.25	0.31	19%
Paved Road	0.85	0.95	27%
School	0.65	0.81	4%

Volume Required, 100-yr, 2-hr

$$V = C(P/12)A$$

V = Volume (ac-ft)

C= C-value

P = Precipitation Depth⁽³⁾ (100-yr, 2hr event) (in) = 2.74

A =Contributing area (ac)

Builder	Gross Area(ac)	Net ⁽⁶⁾ Area (ac)	Areas (ac) ⁽¹⁾			Weight C C _w , 100-yr	Retention Required		Retention Provided	
			Residence	Open Space	Roads ⁽⁵⁾		V (ac-ft)	A (ac) ⁽⁴⁾	V (ac-ft)	A (ac) ⁽⁴⁾
Fulton Homes	278	240.00	140.40	52.00	73.98	0.66	39.92	13.31	48.57	16.19

Notes: (1) Measured Values from Land Plan

(3) Precipitation Depth from Pinal County Drainage Manual, Table 2-6 for Casa Grande (closest city to Maricopa)

(4) Assume 3 ft depth basins. Extra area will be required if Amenities added.

(5) Assumes half street arterial White & Parker Rd and full width for Bowlin Rd, collector, and residential roadway runoff to be retained on-site

(6) Net = Gross - school site - arterial & collector roadways