



COMPREHENSIVE SIGN PLAN

SGN - 07.28
City Council
November 6, 2007

**ELLERMANN,
SCHICK &
BRUNO**
ARCHITECTURE PLANNING

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SheaProperties

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PHOENIX, ARIZONA 85029
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THE WELLS

Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
ST 1A Multi-Tenant Pylon Sign	Pylon	Multi-tenant identification	Placed along Maricopa Casa Grande Hwy	2	52.5 feet	488 SF of Multi-Tenant Sign Area and 21 SF of Center Identification Exclusive of Architectural Embellishments	Internal, Backlit and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 1B Multi-Tenant Pylon Sign	Pylon	Multi-tenant identification	Placed along Maricopa Casa Grande Hwy	2	30 feet	252 SF of Multi-Tenant Sign and 21 SF of Center Identification Exclusive of Architectural Embellishments	Internal, Backlit and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 2 Multi-Tenant Monument Sign	Monument	Secondary Multi-tenant identification	Placed along Porter Road and Shea Way	4 (See Note 1)	20 feet	112 SF of Multi-Tenant Sign Area and 10 SF of Center Identification Exclusive of Architectural Embellishments	Internal, Backlit and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 3 Vehicular Directional	Monument	Vehicular Directional	Site Interior	4 (See Note 2)	4.5 feet	8 SF of Directional Sign Area Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Textured Aluminum, Powder Coat, Acrylics, and Reflective Vinyl
ST 4 Multi-family Primary Directional Monument	Monument	Multi-family Housing Identification and Directional Information	Intersection of Shea Way and Maricopa Casa Grande Hwy	1 (See Note 1)	12 feet	60 SF of Multi-family Housing Sign Area Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 5 Multi-family Secondary Directional Monument	Monument	Multi-family Housing Identification and Directional Information	Placed along Porter Road and Allen Stephens Pkwy	3 (See Note 1)	9.75 feet	32 SF of Multi-family Housing Sign Area Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 6 Multi-family Entry Feature	Entry Wall Feature	Multi-family Housing Identification	Place at entryways along Allen Stephens Pkwy	4 (See Note 1)	Wall Design TBD	32 SF of Multi-family Housing Sign Area Per Entry Wall Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Stone, Stucco, Textured Aluminum, Powder Coat and Acrylics
ST 7 Office Retail Trailer Sign *	Trailer	Marketing	Site Interior	1	14 feet	715 SF of Sign Area	No Illumination	

Note 1: Uses illustrated on the light shaded areas of the site plan and indicated as “Future Phase 2” and “Future Phase 3” will require separate approval from the City of Maricopa. The various freestanding sign types illustrated and labeled “Conceptual” reflect the design, size, and location required to satisfy the signage requirements of these future phases. Once the Uses have been approved by the City of Maricopa, the Planning Director of the City of Maricopa shall have the authority to administratively approve those freestanding sign types indicated as “Conceptual”.

Note 2: The quantity of ST 3 Vehicular Directional type signs required for the Future Phase 3 portion of the site cannot be determined at this time. Once the Use for Future Phase 3 has been approved by the City of Maricopa, the Planning Director of the City of Maricopa shall have the authority to administratively approve the quantity and locations of the ST 3 sign type indicated as “Conceptual”.

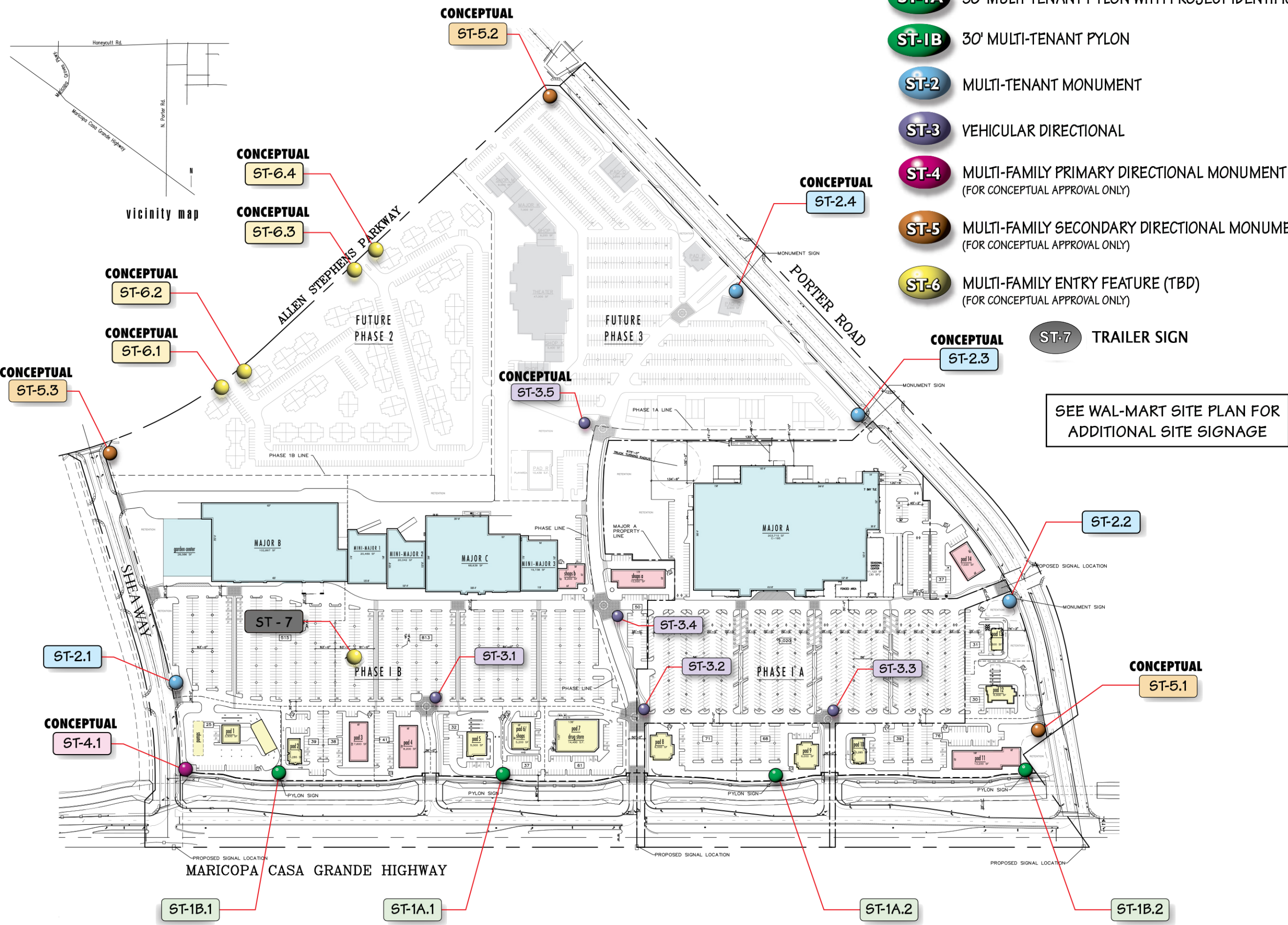
* **Note 3:** “This trailer shall only be utilized for two years from the date of approval of this CSP amendment.” per CSP21-04 comment 00001.

PROJECT:	
THE WELLS SHEA PROPERTIES Maricopa, AZ	
TITLE: Sign Location Site Plan	
DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO: 2006-L-029	SCALE: 1"=300'-0"
DATE: 08/10/07	SHEET NO: SP 1

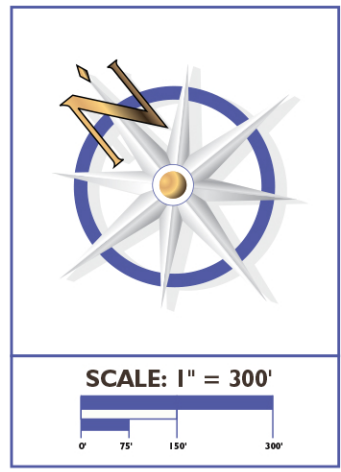
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REVISED: 08/10/07

- ST-1A** 50' MULTI-TENANT PYLON WITH PROJECT IDENTIFICATION
- ST-1B** 30' MULTI-TENANT PYLON
- ST-2** MULTI-TENANT MONUMENT
- ST-3** VEHICULAR DIRECTIONAL
- ST-4** MULTI-FAMILY PRIMARY DIRECTIONAL MONUMENT (FOR CONCEPTUAL APPROVAL ONLY)
- ST-5** MULTI-FAMILY SECONDARY DIRECTIONAL MONUMENT (FOR CONCEPTUAL APPROVAL ONLY)
- ST-6** MULTI-FAMILY ENTRY FEATURE (TBD) (FOR CONCEPTUAL APPROVAL ONLY)
- ST-7** TRAILER SIGN



SEE WAL-MART SITE PLAN FOR
ADDITIONAL SITE SIGNAGE



THE WELLS

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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Multi-Tenant Pylon	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO:	SCALE:
2006-L-029	3/16"=1'-0"
DATE:	SHEET NO:
09/19/07	ST 1

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D/F MULTI-TENANT PYLON W/ PROJECT IDENTIFICATION

PROJECT ID WILL BE
INDIVIDUAL REVERSE PAN
CHANNEL BACK-LIT LETTERS

INTERNAL METAL HALIDE
ILLUMINATION

FIRST SURFACE APPLIED
VINYL GRAPHICS OVER
FLEXIBLE SIGN FACE
SUBSTRATE

PANEL SIZES AND NUMBER
OF TENANTS SHOWN ARE
FOR ILLUSTRATION
PURPOSES ONLY. ACTUAL
TENANT ALLOCATION
MAY VARY.

SIGN AREA:
TENANTS: 487.67 SF
PROJECT ID: 21.15 SF



DUNN EDWARDS - DE6151 WARM BUTTERSCOTCH



DUNN EDWARDS - DEC745 CHAPARRAL



DUNN EDWARDS - DE6118 SANDPIT



DUNN EDWARDS - DEA174 OLIVE COURT



MATTHEWS "BRUSHED ALUMINUM"



CULTURED STONE - SOUTHERN LEDGESTONE
FAWN CSV-2026



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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Multi-Tenant Pylon	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	3/16"=1'-0"
DATE:	SHEET NO.:
09/19/07	ST 1B



D/F MULTI-TENANT PYLON W/ PROJECT IDENTIFICATION

PROJECT ID WILL BE
INDIVIDUAL REVERSE PAN
CHANNEL BACK-LIT LETTERS

INTERNAL METAL HALIDE
ILLUMINATION

FIRST SURFACE APPLIED
VINYL GRAPHICS OVER
FLEXIBLE SIGN FACE
SUBSTRATE

PANEL SIZES AND NUMBER
OF TENANTS SHOWN ARE
FOR ILLUSTRATION
PURPOSES ONLY. ACTUAL
TENANT ALLOCATION
MAY VARY.

SIGN AREA: 252.0 SF
PROJECT ID: 21.15 SF



DUNN EDWARDS - DE6151 WARM BUTTERSCOTCH



DUNN EDWARDS - DEC745 CHAPARRAL



DUNN EDWARDS - DE6118 SANDPIT



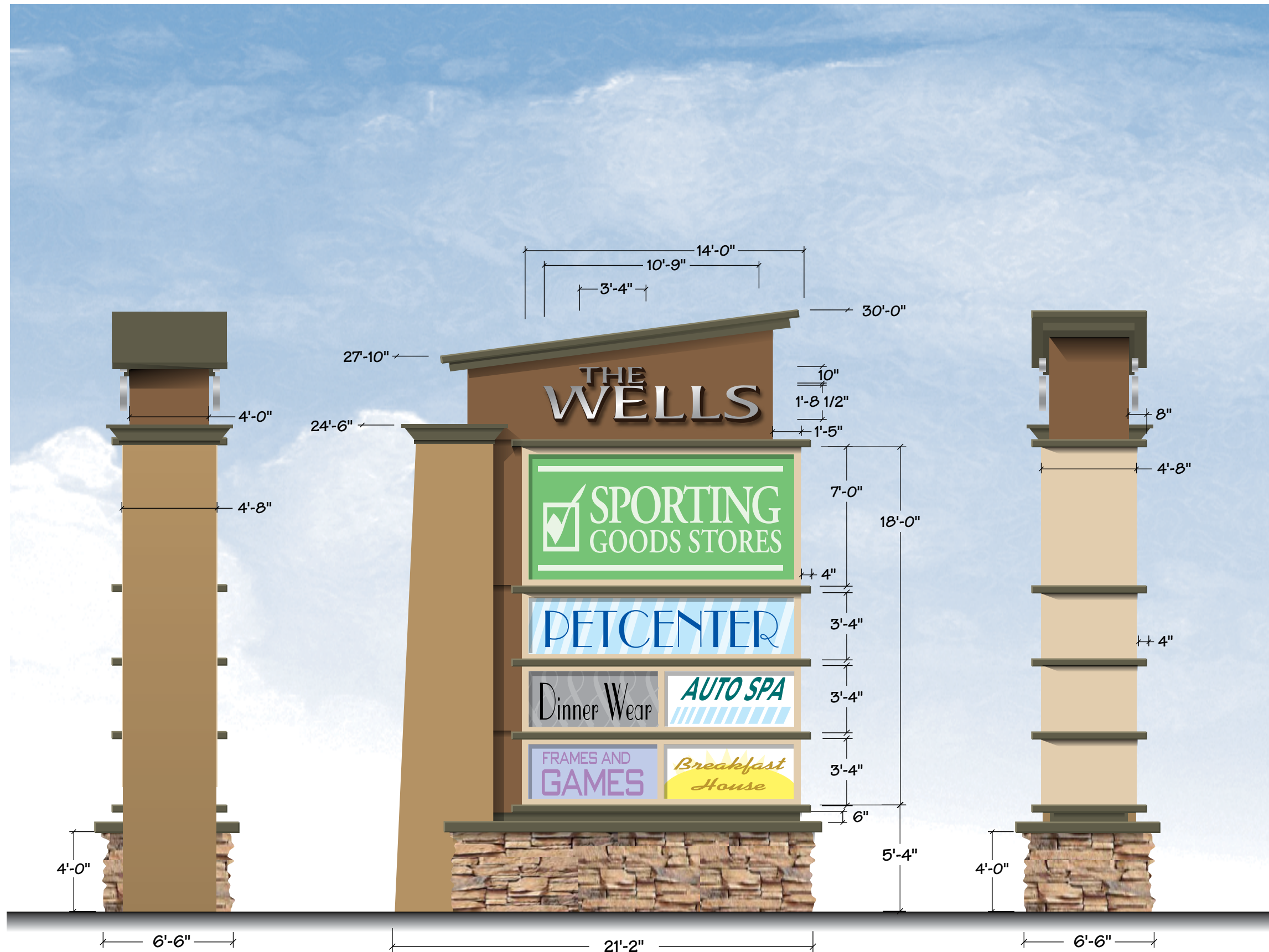
DUNN EDWARDS - DEA174 OLIVE COURT



MATTHEWS "BRUSHED ALUMINUM"



CULTURED STONE - SOUTHERN LEDGESTONE
FAWN CSV-2026



THE WELLS



DUNN EDWARDS - DEC745 CHAPARRAL



DUNN EDWARDS - DE6118 SANDPIT



DUNN EDWARDS - DE6151 WARM BUTTERSCOTCH



DUNN EDWARDS - DEA174 OLIVE COURT



MATTHEWS "BRUSHED ALUMINUM"



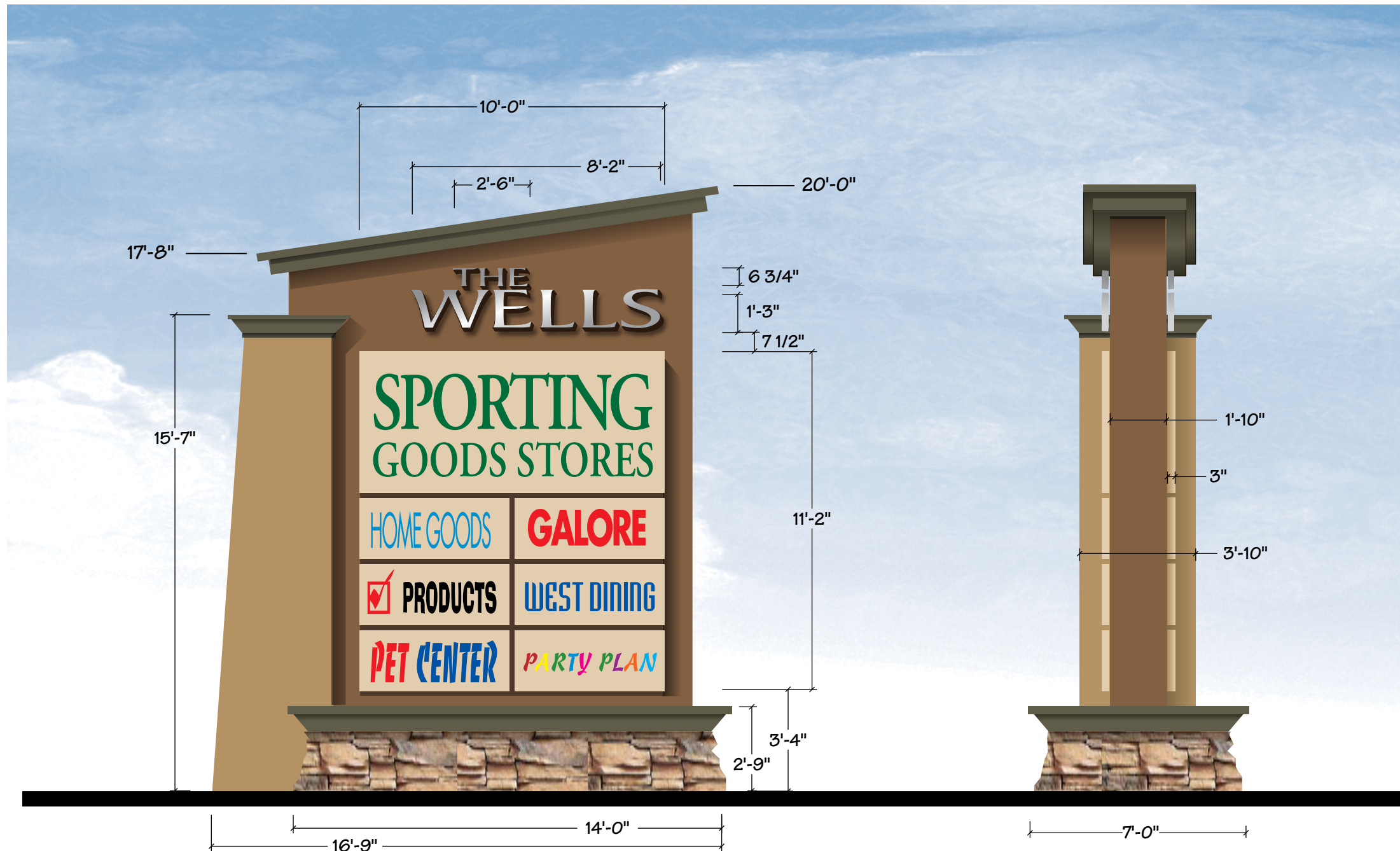
CULTURED STONE - SOUTHERN LEDGESTONE FAWN CSV-2026



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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Conceptual Monument Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	1/4"=1'-0"
DATE:	SHEET NO.:
09/19/07	ST 2

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ST-2

D/F MULTI-TENANT MONUMENT

PROJECT ID WILL BE INDIVIDUAL REVERSE PAN CHANNEL BACK-LIT LETTERS

TENANT SIGNAGE WILL BE ROUTED WITH WHITE ACRYLIC BACK-UP, 3/8" FCO CLEAR PUSH-THRU WITH FIRST SURFACE APPLIED COLORED VINYL UTILIZING TENANT'S CORPORATE COLORS.

DEVELOPER APPROVAL REQUIRED.

PANEL SIZES AND NUMBER OF TENANTS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL TENANT ALLOCATION MAY VARY.

SIGN AREA:
TENANTS: 111.67 SF
PROJECT ID: 10.21 SF

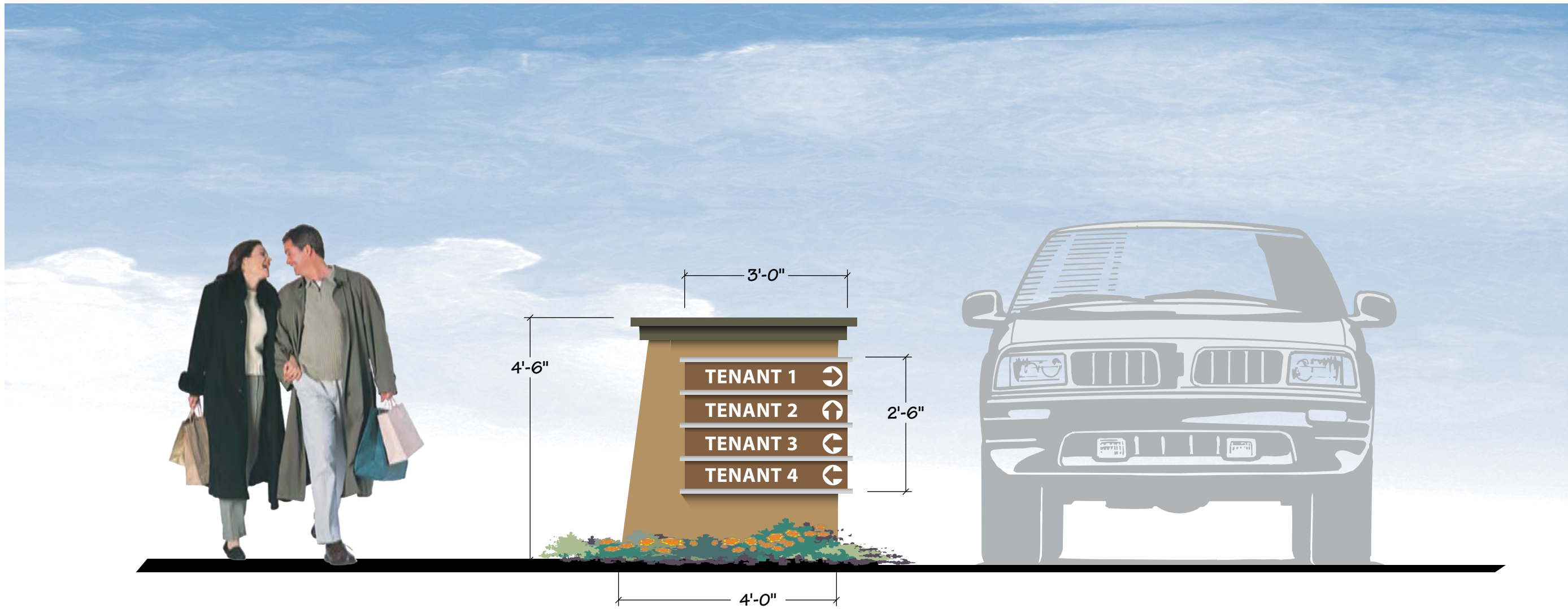
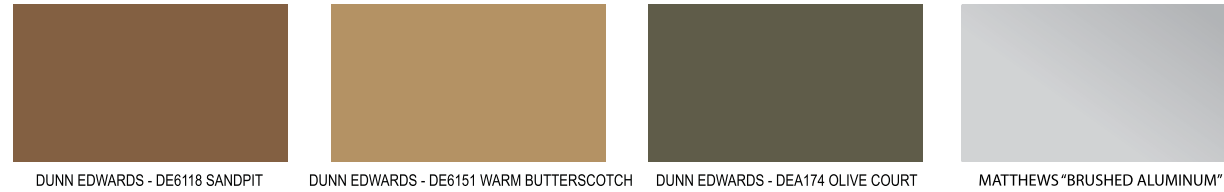
THE WELLS

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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Vehicular Directional	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	1/2"=1'-0"
DATE:	SHEET NO.:
09/19/07	ST 3

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ST-3 D/F NON-ILLUMINATED VEHICULAR DIRECTIONAL W/REFLECTIVE GRAPHICS

SIGN AREA:
TENANTS: 7.5 SF

PANEL SIZES AND NUMBER OF TENANTS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL TENANT ALLOCATION MAY VARY.

THE WELLS



DUNN EDWARDS - DEC745 CHAPARRAL



DUNN EDWARDS - DE6118 SANDPIT



DUNN EDWARDS - DE6151 WARM BUTTERSCOTCH



DUNN EDWARDS - DEA174 OLIVE COURT



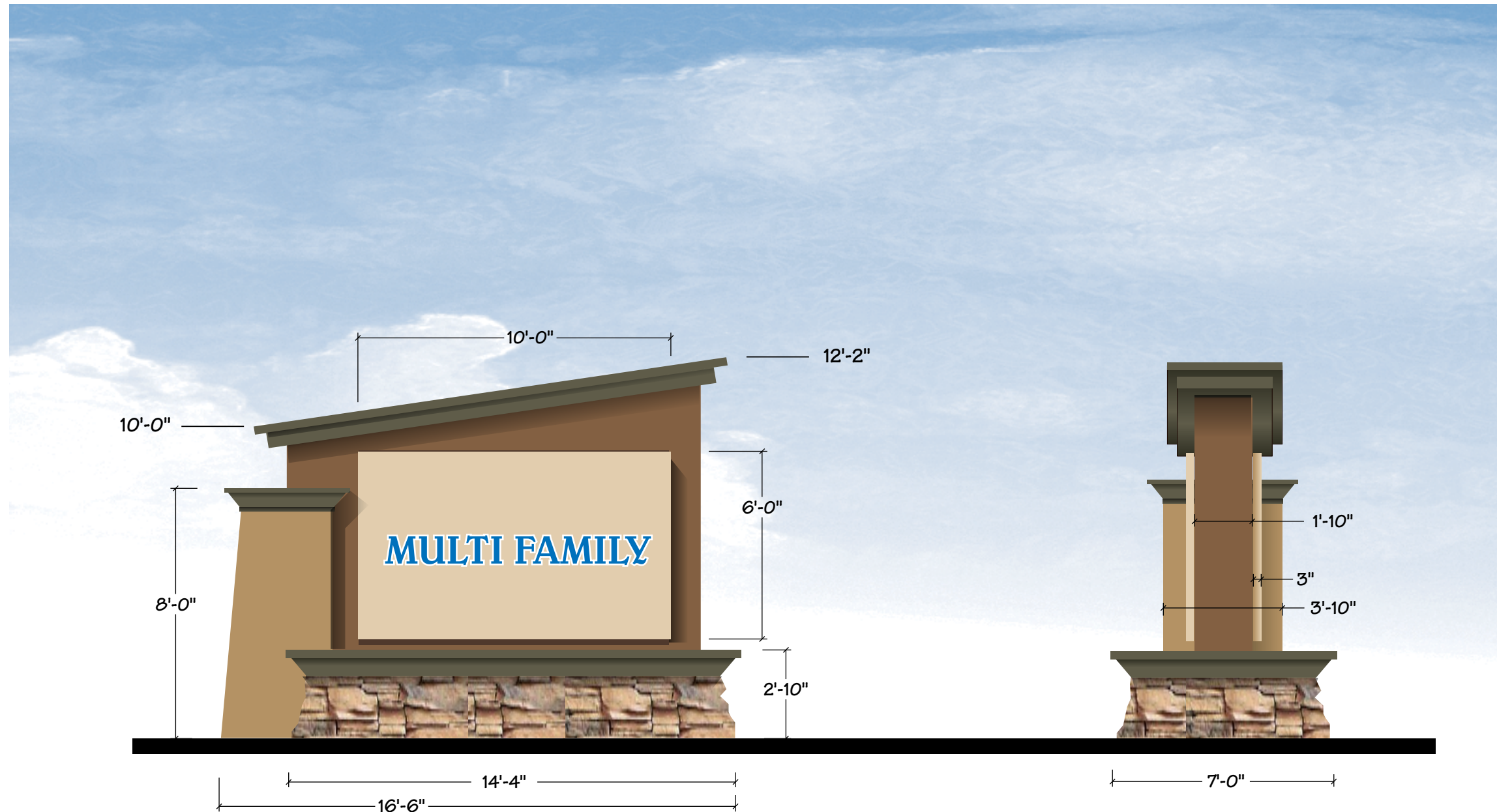
CULTURED STONE - SOUTHERN LEDGESTONE
FAWN CSV-2026



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SALES@BLEIERINDUSTRIES.COM

PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
MFH Primary Monument Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO:	SCALE:
2006-L-029	1/4"=1'-0"
DATE:	SHEET NO:
08/01/07	ST 4

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CONCEPTUAL MULTI-FAMILY PRIMARY DIRECTIONAL MONUMENT

TENANT SIGNAGE WILL BE ROUTED WITH WHITE ACRYLIC BACK-UP,
3/8" FCO CLEAR PUSH-THRU WITH FIRST SURFACE APPLIED COLORED
VINYL UTILIZING TENANT'S CORPORATE COLORS.
DEVELOPER APPROVAL REQUIRED.

SIGN AREA:
TENANTS: 60.0 SF

THE WELLS



DUNN EDWARDS - DEC745 CHAPARRAL



DUNN EDWARDS - DE6118 SANDPIT



DUNN EDWARDS - DEA174 OLIVE COURT



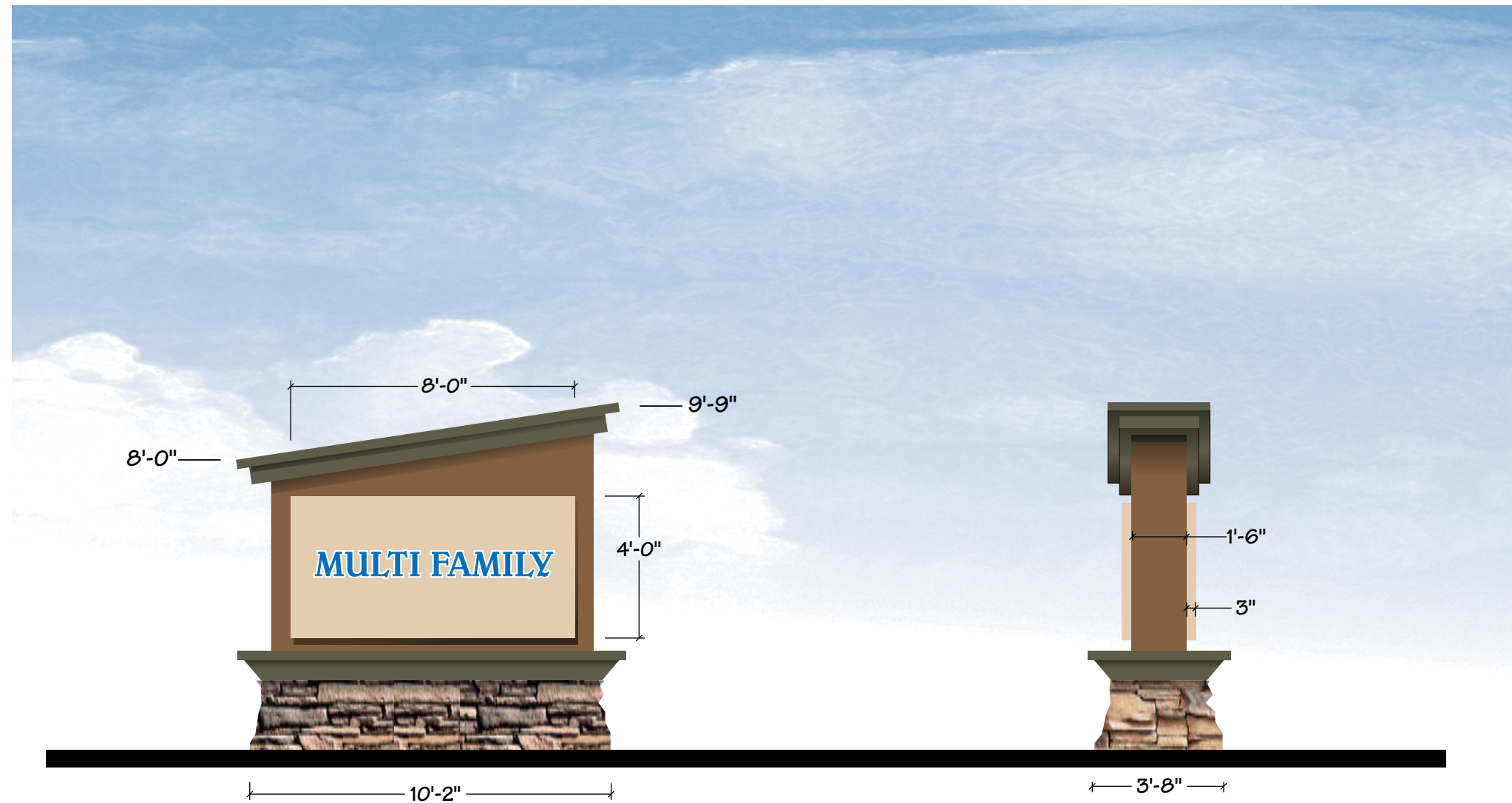
CULTURED STONE - SOUTHERN LEDGESTONE FAWN CSV-2026

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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
MFH Secondary Monument Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	1/4"=1'-0"
DATE:	SHEET NO.:
08/01/07	ST 5

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CONCEPTUAL MULTI-FAMILY SECONDARY DIRECTIONAL MONUMENT

TENANT SIGNAGE WILL BE ROUTED WITH WHITE ACRYLIC BACK-UP,
3/8" FCO CLEAR PUSH-THRU WITH FIRST SURFACE APPLIED COLORED
VINYL UTILIZING TENANT'S CORPORATE COLORS.
DEVELOPER APPROVAL REQUIRED.

SIGN AREA:
TENANTS: 32.0 SF



ST-7 TRAILER SIGN

SIGN AREA: 715.5 S.F.



General Requirements Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout The Wells for the mutual benefit of all business uses herein referred to as "User", and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Maricopa Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced by the Developer and the City of Maricopa. Any non-compliant sign(s) installed by a User shall be brought into conformance at the sole cost and expense of the User. This criteria is subject to final approval by the City of Maricopa as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and any subsequent revision approved by the City of Maricopa, the latter shall prevail.

I. GENERAL REQUIREMENTS

- A. User shall submit or cause to be submitted to Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design color, method of illumination, materials, and method of attachment of User's building mounted signage.
- B. User or User's representative shall obtain all required permits for all signs and their installation from the City of Maricopa.
- C. All building mounted signs shall be constructed and installed at User's sole expense. All freestanding site signage will be fabricated and installed by the Developer's designated sign contractor. User shall provide electronic artwork suitable for production to Developer's sign contractor who will produce User's signage on the site signage. User shall reimburse Developer for all site signage costs in accordance to the terms of their respective lease agreement.
- D. User shall be responsible for the fulfillment of all requirements and specifications, including those of the City of Maricopa.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of Developer and/or the Developer's authorized representative.

- F. User shall be responsible for the installation and maintenance of User's building sign. Should User's building sign require maintenance or repair, Developer shall give User thirty (30) days written notice to effect said maintenance or repair. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
- G. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted except for temporary banners that may be permitted to announce a grand opening or seasonal sale. Temporary banners must be approved in writing by the Developer and permitted by the City of Maricopa prior to its installation.

II. SPECIFICATIONS - USER BUILDING SIGNAGE

- A. General Specifications
 - 1. No animated, flashing or audible signs shall be permitted.
 - 2. All signs, including temporary signs and their installation shall comply with all City of Maricopa building and electrical codes.
 - 3. No exposed raceways, crossovers or conduit shall be permitted unless physical circumstances exist that prohibit the signage to otherwise be installed. All User signage shall consist of individual letters and logos installed onto the building's wall surface. Sign cabinets are discouraged, however, may be approved if part of the User's nationally recognized corporate identification program. User signage shall not include any background color, material and/or structure used to delineate User's signage unless part of the User's nationally recognized corporate identification program. The Developer and/or the Developer's designated agent shall have the sole and separate discretion in approving and/or varying any provision of these specifications.
 - 4. All cabinets, conductors, transformers and other equipment shall be concealed.
 - 5. Temporary signs and banners and painted lettering shall not be permitted except as approved by the Developer and the City of Maricopa.
 - 6. Any damage to a wall surface or roof deck resulting from User's sign installation shall be repaired at User's sole cost. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
 - 7. Upon removal of any sign by User, any damage to a wall surface and/or architectural element shall be repaired at User's cost. Should User fail to do the same, Developer may undertake repairs and User shall reimburse Developer within ten (10) days from receipt of Developer's invoice.

B. Location of Signs

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed and authorized by the Developer and/or Developer's designated agent and as approved by the City of Maricopa.

III. DESIGN REQUIREMENTS BUILDING SIGNAGE

Individual illuminated letters and logos are recommended and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be mounted onto the building fascia. Electrical connections shall be concealed to remote and/or self-contained transformers. All signage shall be installed in compliance to the City of Maricopa electrical code in affect at the time of sign installation in addition to UL 2161 / UL 48 specifications and modifications thereto. The User at User's sole expense shall immediately repair any sign installation that has been found to be non-compliant.

A. Sign Area

1. The aggregate sign area for each User shall be calculated by multiplying 1.5 times the length of the User's business front footage or elevation occupied by the User. User building signage may contain multiple sign elements whose sign area does not exceed the aggregate amount calculated as prescribed herein. Users having multiple elevations that afford sign placements other than the User's business front shall be permitted to place building signage on them. The aggregate sign area for these additional elevations shall be calculated in the same manner as described above. Users having less than thirty three (33) feet of business front footage shall be permitted a minimum sign area of fifty (50) square feet.

B. Letter Height and Placement Restrictions

1. User building signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer and/or Developer's agents and approved by the City of Maricopa. All signage shall be reviewed and approved by the Developer and shall be appropriate to the surrounding building features, environment, and thematic design of The Wells. The Developer and the City of Maricopa shall have discretion in varying any provision of these specifications through Administrative Amendment and approval by the Planning Director.
2. For Users occupying less than ten thousand (10,000) square feet of floor area, the overall spread of letters shall not exceed 75% of the User's business front footage or elevation upon which building signage is placed. The maximum letter height shall be no greater than thirty-six inches (36")

exclusive of logos. Exception: The maximum letter height for Shop Users shall be no greater than twenty-four inches (24") exclusive of logos.

3. For Users occupying more than ten thousand (10,000) square feet of floor area and less than fifty thousand (50,000) square feet of floor area, the overall spread of letters shall not exceed 75% of the User's business front footage or elevation upon which building signage is placed. The maximum letter height shall be no greater than sixty inches (60") exclusive of logos.
4. For Users occupying more than fifty thousand (50,000) square feet of floor area and less than one hundred thousand (100,000) square feet of floor area the overall spread of letters shall not exceed 75% of the User's business front footage or elevation upon which building signage is placed. The maximum letter height shall be no greater than seventy two inches (72") exclusive of logos.
5. For Anchor Users occupying greater than one hundred thousand (100,000) square feet of floor area the overall spread of letters shall not exceed 75% of the User's business front footage or elevation upon which building signage is placed. The maximum letter height shall be no greater than one hundred twenty inches (120") exclusive of logos.
6. All Users shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein with the exception of Anchor User / Wal-Mart who shall be excluded from aggregate sign area limitations. All Wal-Mart building signage has been illustrated on the elevations included within this Comprehensive Sign Plan and are made an integral part herein. Wal-Mart and/or their sign contractor shall apply for all required sign permits and approvals from the City of Maricopa under a separate submittal.
7. Where Shop User signage is installed on a common sign band and/or wall surface, the overall length of the sign shall not exceed a maximum of seventy five (75%) percent of the User's leased storefront length. This percentage may be less if warranted by architectural conditions.

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be User's choice, subject to the approval of the Developer and/or Developer's agents and permit issuance by the City of Maricopa.

D. Illumination

1. Building signs may be illuminated by internal, backlit, or externally indirect lighting. All external lighting devices shall comply with the City of Maricopa "Dark Sky Ordinance".

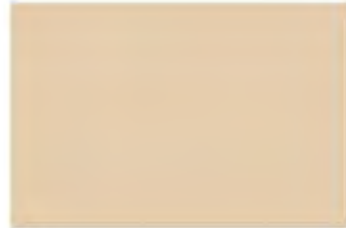
E. Under Canopy Blade Sign

1. Each Shop User, at User's expense, may be required to install graphic copy, on an under canopy, non-illuminated blade sign specified in this Comprehensive Sign Plan. Anchor, Majors and Pad Users shall have the option to do so. For cost efficiencies and design/construction uniformity, all under canopy blade signs may be manufactured by the Developer's project sign contractor and purchased in bulk by Developer. Each User that is required to have a blade sign shall reimburse the Developer for the cost of the display and its installation thereof.
2. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve in writing all copy and layout prior to its installation. Each Shop User shall furnish and install the approved copy for said display at User's sole and separate expense. User shall pay for all costs associated with the production and mounting of User's blade sign copy.
3. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs as specified.

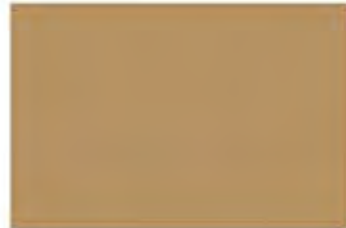
IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All illuminated signage shall be fabricated in a manner to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. Required labels or other identification shall be permitted on the exposed surface of signs and shall be applied in an inconspicuous location.
- E. User shall be fully responsible for the operations of User's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof. Users shall employ only Arizona licensed sign contractors licensed to conduct business within the City of Maricopa. The Tenant's sign contractor shall furnish to the Developer and/or Developer's agents Certificates of Insurance for both General Liability and Workers Compensation prior to commencement of any sign installation.
- F. All signs will require separate sign permits issued by the City of Maricopa prior to their installation.

BUILDING COLORS



A DUNN EDWARDS - DEC745 CHAPARRAL



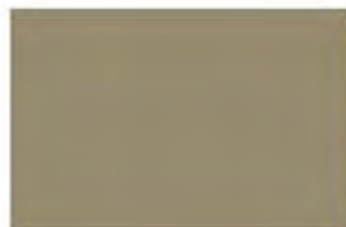
B DUNN EDWARDS - DE6151 WARM BUTTERSCOTCH



C DUNN EDWARDS - DE6180 NEW CORK



D DUNN EDWARDS - DE6118 SANDPIT



E DUNN EDWARDS - DEC776 COURTYARD



F DUNN EDWARDS - DEA174 OLIVE COURT

MASONRY



1 CULTURED STONE - SOUTHERN LEDGESTONE FAWN CSV-2026



2 CULTURED STONE - EUROPEAN CASTLE STONE CHARDONNAY PF-8112



3 DAVIS COLORS PEWTER 860



4 DAVIS COLORS SOUTHERN BLUSH 10134



5 CMU - SUPERLITE CHARCOAL



6 CMU - SUPERLITE UMBERBROWN

SITE COLORS & MATERIALS



7 PAVESTONE CITYSTONE SERIES



8 METAL AWNING IMAGE



9 METAL TRELLIS IMAGE



10 MONIERLIFETILE - LIGHTWEIGHT TILE DURALITE SAXONY SHAKE - SADDLE



11 DECORATIVE METAL SHUTTERS



12 HARDI BOARD SIDING OR EQUAL

SITE AMENITIES



13 PEDESTRIAN POLE LIGHT WALL SCONCE WILL BE COMPATIBLE WITH PEDESTRIAN POLE LIGHT



14 SITE LIGHT HUBBELL MSV



15 BENCH AND TRASH WABASH VALLEY OR EQUAL



16 HERWIG LIGHTING FIXTURES #BR BOLLARD COLOR F



17 EARTHSTONE ITALIANO LARGE AND SMALL

THE WELLS
CITY OF MARICOPA, ARIZONA
SheaProperties

bleier
INDUSTRIES

2030 WEST DESERT COVE AVE.
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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Conceptual Material Board	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	NTS
DATE:	SHEET NO.:
08/01/07	MB 1

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conceptual
material board

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project # 26051
25 January 2007

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SCHICK
&
BRUNO
ARCHITECTURE PLANNING
THEY'LL BE THERE FOR YOU. THEY'LL BE THERE FOR YOU.

THE WELLS

Building Sign Matrix Anchor and Major Users

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Anchor User(s) with occupancy of 100,000 SF or greater	Wall Mounted Signs	User Identification	All elevations that offer readability	120" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Major User(s) with occupancy greater than 50,000 SF through 99,999 SF	Wall Mounted Signs	User Identification	All elevations that offer readability	72" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Major User with occupancy greater than 10,000 SF through 49,999 SF	Wall Mounted Signs	User Identification	All elevations that offer readability	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Major User with occupancy 9,999 SF or less	Wall Mounted Signs	User Identification	All elevations that offer readability	36" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
All Major Users	Under Canopy Blade Sign (Optional)	User Identification	In front of User's Main Entrance	Below architectural canopy. Maintain 8' Clearance AFF	6 SF Maximum	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

- a. The aggregate sign area for each User shall be calculated by multiplying 1.5 times the length of the User's business front footage or elevation occupied by the User. User building signage may contain multiple sign elements whose sign area does not exceed the aggregate amount calculated as prescribed herein. Users having multiple elevations that afford sign placements other than the User's business front shall be permitted to place building signage on them. The aggregate sign area for these additional elevations shall be calculated in the same manner as described above. Users having less than thirty three (33) feet of business front footage shall be permitted a minimum sign area of fifty (50) square feet.
- b. All Users shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein with the exception of Anchor User / Wal-Mart who shall be excluded from aggregate sign area limitations. All Wal-Mart building signage has been illustrated on the elevations included within this Comprehensive Sign Plan and are made an integral part herein. Wal-Mart and/or their sign contractor shall apply for all required sign permits and approvals from the City of Maricopa under a separate submittal.

WAL-MART SIGN SUBMITTAL



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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Wal-Mart Sign Submittal	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	As Noted
DATE:	SHEET NO.:
09/19/07	WM 1

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FRONT SIGNAGE	HEIGHT	AREA
1. "WAL-MART"	5'-0"	190.00 S.F.
2. "SUPERCENTER"	2'-0"	39.00 S.F.
3. "FOOD CENTER"	2'-6"	50.42 S.F.
4. "LOW PRICES"	2'-0"	44.38 S.F.
5. "BAKERY"	1'-6"	10.25 S.F.
6. "DELI"	1'-6"	5.30 S.F.
7. "MEAT"	1'-6"	6.84 S.F.
8. "PRODUCE"	1'-6"	11.88 S.F.
9. "1 HR. PHOTO"	1'-6"	16.50 S.F.
10. "OPTICAL"	1'-0"	10.26 S.F.
11. "PHARMACY"	1'-0"	14.56 S.F.
12. "WE SELL FOR LESS"	2'-6"	68.23 S.F.
13. "TIRE & LUBE"	2'-6"	47.71 S.F.
14. "EXPRESS ==>"	2'-6"	45.77 S.F.
15. "GARDEN CENTER"	2'-6"	59.90 S.F.
TOTAL FRONT		621.00 S.F.
REAR SIGNAGE	HEIGHT	AREA
16. "WAL-MART"	5'-0"	190.00 S.F.
TOTAL REAR		190.00 S.F.
AUTO CENTER SIGNAGE	HEIGHT	AREA
17. "WAL-MART"	1'-3"	11.54 S.F.
"TIRE & LUBE"	1'-9"	26.20 S.F.
"EXPRESS"	2'-6"	39.69 S.F.
18. "TIRES"(2)	1'-0"	6.52 S.F.
19. "LUBE EXPRESS"	1'-0"	8.96 S.F.
TOTAL AUTO CENTER		92.91 S.F.
TOTAL BUILDING SIGNAGE		903.91 S.F.



TLE KIOSK
NOT TO SCALE
TLE KIOSK = 33.81 S.F.



REPRESENTATION ONLY
NOT FOR CONSTRUCTION
BUILDING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.



Maricopa, AZ
#4430-00 09/18/07

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BRUNO**
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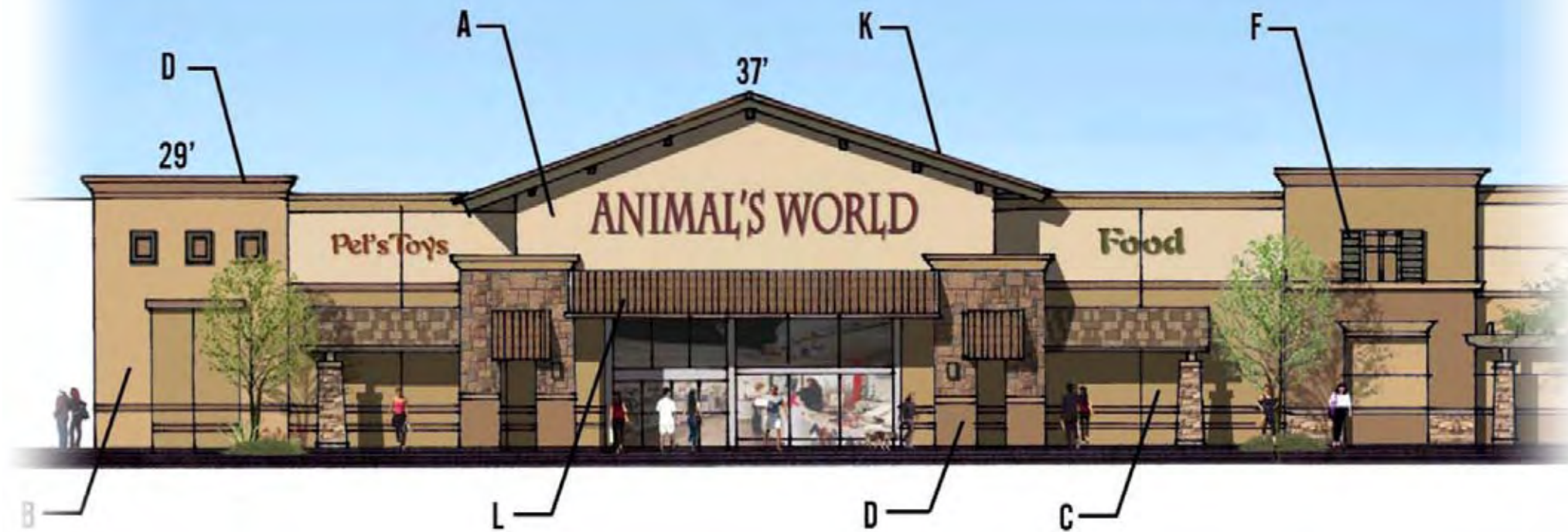
1555 E GRANWOOD AVE PHOENIX AZ 85020
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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Conceptual Major Elevation	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	As Noted
DATE:	SHEET NO.:
08/01/07	M 1

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TYPICAL MAJOR TENANT ELEVATION - 1/16" = 1'-0"



MAJOR TENANT ELEVATION CHARACTER - NTS



Building Sign Matrix Shop Users

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Users	Wall Signs	User ID	Wall surfaces and architectural features designed to accommodate signage.	24" Maximum Letter Height Exclusive of Logos	1.5 SF / Linear Foot of Building Elevation (Typical) 50 SF Minimum (Typical) Per Building Elevation Upon Which Signage is Placed	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Users	Under Canopy Blade Sign	User ID	In front of User's leased space	Below architectural canopy. Maintain 8' Clearance AFF	6 SF Maximum	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

- a. The aggregate sign area for each User shall be calculated by multiplying 1.5 times the length of the User's business front footage or elevation occupied by the User. User building signage may contain multiple sign elements whose sign area does not exceed the aggregate amount calculated as prescribed herein. Users having multiple elevations that afford sign placements other than the User's business front shall be permitted to place building signage on them. The aggregate sign area for these additional elevations shall be calculated in the same manner as described above. Users having less than thirty three (33) feet of business front footage shall be permitted a minimum sign area of fifty (50) square feet.
- b. All Users shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein.

THE WELLS

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PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Conceptual Shop Elevation	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2006-L-029	As Noted
DATE:	SHEET NO.:
08/01/07	S 1

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TYPICAL SHOP TENANT ELEVATION - 1/16" = 1'-0"



SHOP TENANT ELEVATION CHARACTER - NTS

THE WELLS

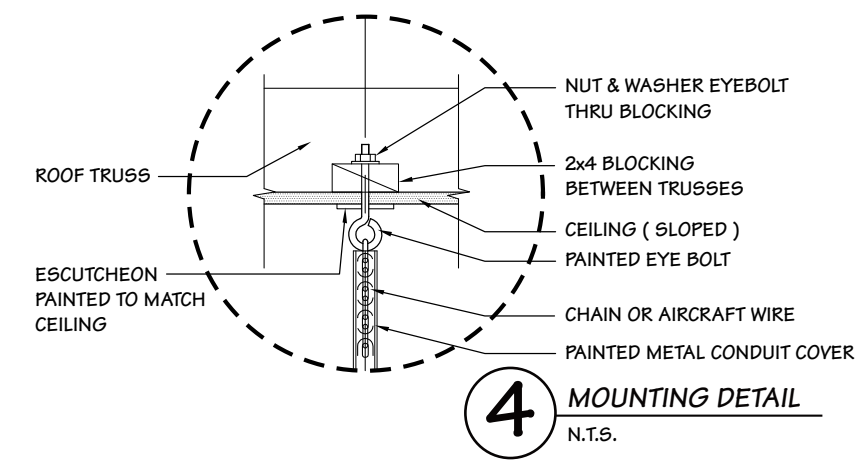
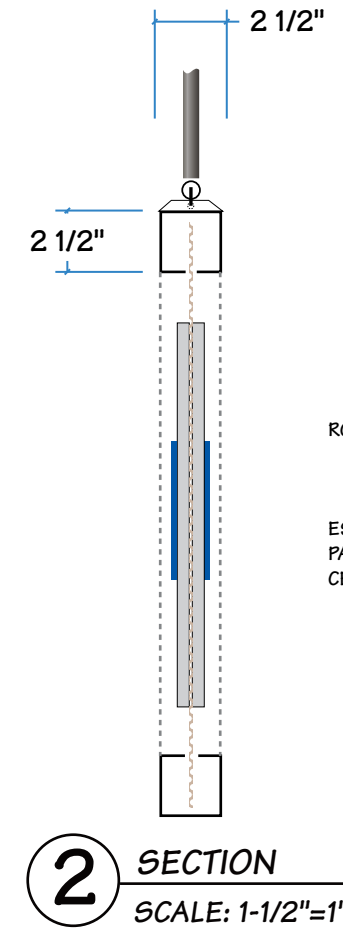
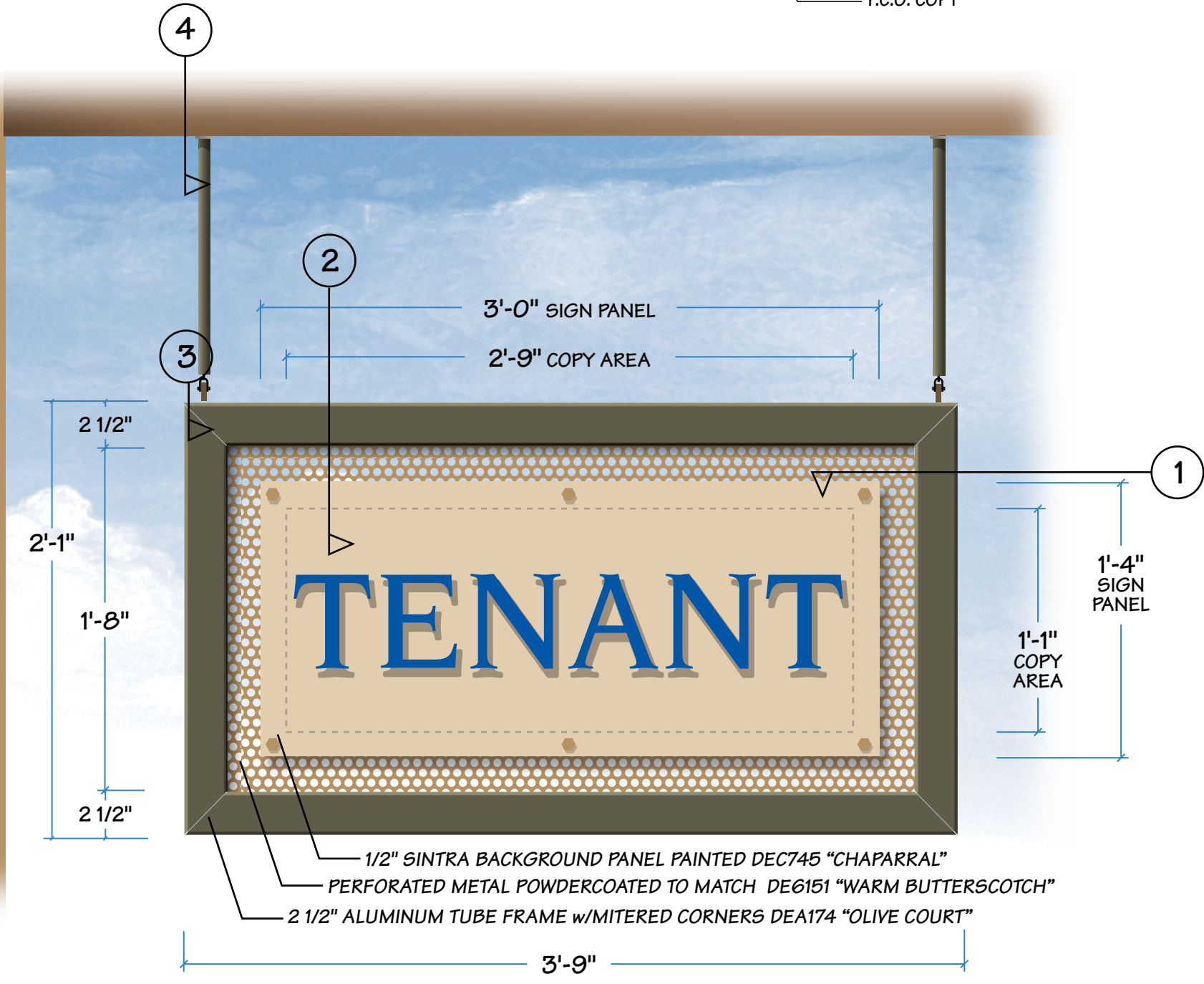
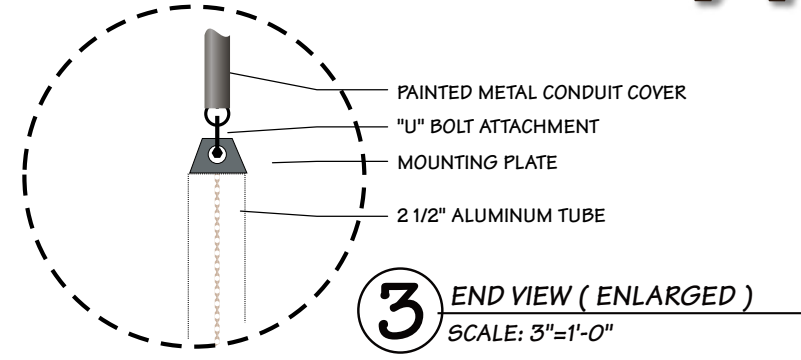
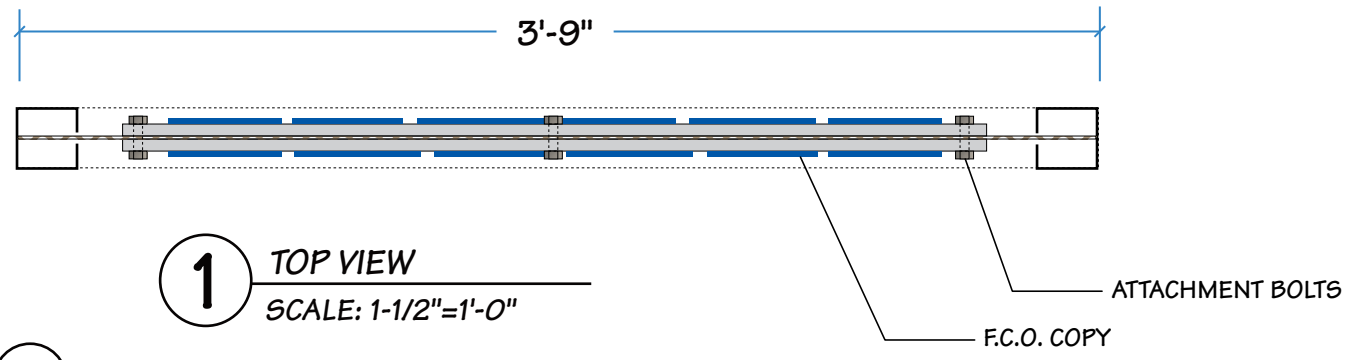
Sign Matrix Pad Users

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad User	Wall Signs	User ID	Wall surfaces and architectural features designed to accommodate signage.	36" Maximum Letter Height Exclusive of Logos EXCEPTION: Shop Users Within a Pad 24" Maximum Letter Height Exclusive of Logos	1.5 SF / Linear Foot of Building Elevation (Typical) 50 SF Minimum Per Elevation (Typical)	Interior, Backlit, or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad User	Under Canopy Blade Sign	User ID	In front of User's Main Entrance	Below architectural canopy. Maintain 8' Clearance AFF	6 SF Maximum	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad User	Menu Signs	Menu Display and Pricing	Drive Thru	Per City of Maricopa Sign Ordinance	Per City of Maricopa Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad User	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per City of Maricopa Sign Ordinance	Per City of Maricopa Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad User	ATM	ATM	Wall or Freestanding	Per City of Maricopa Sign Ordinance	Per City of Maricopa Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material

- a. The aggregate sign area for each User shall be calculated by multiplying 1.5 times the length of the User's business front footage or elevation occupied by the User. User building signage may contain multiple sign elements whose sign area does not exceed the aggregate amount calculated as prescribed herein. Users having multiple elevations that afford sign placements other than the User's business front shall be permitted to place building signage on them. The aggregate sign area for these additional elevations shall be calculated in the same manner as described above. Users having less than thirty three (33) feet of business front footage shall be permitted a minimum sign area of fifty (50) square feet.
- b. All Users shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained herein.

PROJECT:	
The Wells Shea Properties Maricopa, AZ	
TITLE:	
Typical Blade Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO:	SCALE:
2006-L-029	1/4"=1'-0"
DATE:	SHEET NO:
08/10/07	BS-1

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D/F HANGING BLADE SIGN ELEVATION
SCALE: 1-1/2"=1'-0"

TENANT COPY TO BE FLAT CUT OUT, FLUSH MOUNTED, SINTRA™ OR ALUMINUM, 1/4" THICK
TENANT COPY TO BE PAINTED PER TENANT'S CORPORATE COLORS
DEVELOPER APPROVAL REQUIRED